



Arlington Zoning Board of Appeals

Date: Tuesday, March 12, 2024

Time: 7:30 PM

Location: Conducted by Remote Participation

Additional Details:

Agenda Items

Administrative Items

1. Conducted Remote Participation

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: Massachusetts Open Meeting Law

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to ZBA@town.arlington.ma.us 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.

When: Mar 12, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tZ0rd--qjsuG9TDQcgG6eR8D0M8djqvgdQC>

After registering, you will receive a confirmation email containing information about joining the meeting.

- 2. Members Vote: Approval of Decision Docket #3785 51 Burch Street**
- 3. Members Vote: Approval of Decision Docket #3784 71 Egerton Road**
- 4. Members Vote: Approval of Decision Docket #3786 19 Chatham Street**

Hearings

5. **Docket #3779 9 Morton Road (continuance)**
6. **Docket #3781 165 Franklin Street (continuance)**

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted Remote Participation

Summary:

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

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Town of Arlington, Massachusetts

Members Vote: Approval of Decision Docket #3785 51 Burch Street



Town of Arlington, Massachusetts

Members Vote: Approval of Decision Docket #3784 71 Egerton Road



Town of Arlington, Massachusetts

Members Vote: Approval of Decision Docket #3786 19 Chatham Street



Town of Arlington, Massachusetts

Docket #3779 9 Morton Road (continuance)

ATTACHMENTS:

Type	File Name	Description
❑ Reference Material	#3779_9_Morton_Road_Variance.pdf	#3779 9 Morton Road Variance
❑ Reference Material	#3779_9_Morton_Road_Legal_Note.pdf	#3779 9 Morton Road Legal Notice
❑ Reference Material	#3779_9_Morton_Road_Special_Permit.pdf	#3779 9 Morton Road Special Permit
❑ Reference Material	PlotPlan-3-Driveway.pdf	Certified Plot Plan-3-Driveway
❑ Reference Material	Plot_Plan_with_shed_placement.pdf	Plot Plan with shed placement
❑ Reference Material	9_Morton_Road_Shed_Rendering.pdf	#3779 9 Morton Road Shed
❑ Reference Material	ZBA_Continuation_Request_-_Letter_3-12-24_mtg.pdf	#3779 ZBA Continuation Request 3-12-24 mtg



V-23-4	Primary Location	Applicant
Variance Permit Application (ZBA)	9 MORTON RD Arlington, MA 02476	Kate Gregorio +1 315-382-0559 katemgregorio@gmail.com
Status: Active	Owner	9 Morton Rd
Submitted On: 11/21/2023	GREGORIO ANTHONY J; GREGORIO KATHARINE M 9 MORTON ROAD ARLINGTON, MA 02476	Arlington, MA 02476

Special Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.*

Our property boundary has a unique shape which tapers toward the back, and has a number of mature trees/plantings that result in limited space available for construction. The irregular shape of our lot restricts our ability to meet the standard 6' setbacks required by the Zoning Bylaw.

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.*

Strict enforcement of the 6' setbacks would create substantial hardship for our plans. Adhering to these setback requirements would force us to significantly reduce the size of the accessory dwelling unit or even prevent us from constructing it altogether. This reduction in living space could negatively impact the functionality and long-term usability of the ADU.

Describe how desirable relief may be granted without substantial detriment to the public good. *

Granting this variance would not be detrimental to the public good. The proposed ADU will comply with all other aspects of the Zoning Bylaw, including height, lot coverage, and design standards. Furthermore, it aligns with the town's encouragement of ADU development (Section 5.9.2 A). Our neighbors have expressed support for the project, and we have taken steps to ensure that the ADU's design is in harmony with the surrounding properties.

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.*

Granting this variance would not nullify or substantially derogate from the intent of the Zoning Bylaw. The primary purpose of the setback requirements is to ensure adequate spacing between structures for safety and aesthetics. The proposed ADU will maintain a reasonable distance from adjacent properties and will not compromise safety or the aesthetic character of the neighborhood. Additionally, it supports the town's policy to promote accessory dwelling units as a means to address housing needs while respecting the existing neighborhood context.

In more detail:

- We will still have 3.5'+ setbacks on all sides which is more than some other ADUs in Arlington (which have either been granted Variance Permits or Special Use Permits).
- Many of our neighbors have out-buildings within 3' of our property lines.
- This structure would still be more than 100' away from any other dwellings due to the lot sizes of the neighboring properties.
- Most neighbors wouldn't be able to see it at all due to the trees and privacy property fence already in place.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

Dimensional and Parking Information

Present Use/Occupancy *

Residential

Proposed Use/Occupancy *

Residential

TOWN OF ARLINGTON
 Dimensional and Parking Information
 For Applications to the Zoning Board of Appeals

1. Property Location: 9 Morton Rd Zoning District: R1
2. Present Use/Occupancy: SF Residential No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2250 Sq. Ft.
4. Proposed Use/Occupancy: Residential No. of dwelling units 2 (1 SFR + 1 ADU)
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2450 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	<u>7744</u>	<u>7744</u>	min. <u>6000</u>
7. Frontage (Ft.)	<u>80</u>	<u>80</u>	min. <u>60</u>
8. Floor area ratio	<u>.29</u>	<u>.31</u>	max. <u>.35</u>
9. Lot Coverage (%)	<u>.145</u>	<u>.158</u>	max <u>.35</u>
10. Lot Area per Dwelling Unit (Sq. Ft.)	<u>7744</u>	<u>3872</u>	min.
11. Front Yard Depth (Ft.)	—	—	min.
12. Left Side Yard Depth (Ft.)	—	<u>3.5</u>	min. <u>6</u>
13. Right Side Yard Depth (Ft.)	—	<u>3.5</u>	min. <u>6</u>
14. Rear Side Yard Depth (Ft.)	—	<u>3.5</u>	min. <u>6</u>
15. Height (Stories)	—	<u>1</u>	max. <u>2.5</u>
16. Height (Ft.)	—	<u>10'</u>	max. <u>35'</u>
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	<u>5780</u>	<u>5580</u>	
17A. Landscaped Open Space (% of GFA)	<u>74%</u>	<u>72%</u>	min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	<u>4875</u>	<u>4409</u>	
18A. Usable Open Space (% of GFA)	<u>63%</u>	<u>57%</u>	min.
19. Number of Parking Spaces	<u>4</u>	<u>4</u>	min.
20. Parking area setbacks (if applicable)	—	—	min.
21. Number of Loading Spaces (if applicable)	—	—	min.
22. Type of construction	—	<u>V</u>	N/A
23. Slope of proposed roof(s) (in. per ft.)	—	<u>2.4 / 12</u>	min.

]
 *

TOWN OF ARLINGTON
 Open Space / Gross Floor Area Information
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 9 Morton Rd Zoning District: R1

OPEN SPACE*	EXISTING	PROPOSED
Total lot area	<u>7744</u>	<u>7744</u>
Open Space, Usable	<u>4875</u>	<u>4409</u>
Open Space, Landscaped	<u>5780</u>	<u>5580</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u>-</u>	<u>200</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>1125</u>	<u>1125</u>
1 st Floor	<u>1125</u>	<u>1125</u>
2 nd Floor	<u> </u>	<u> </u>
3 rd Floor	<u> </u>	<u> </u>
4 th Floor	<u> </u>	<u> </u>
5 th Floor	<u> </u>	<u> </u>
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	<u> </u>	<u> </u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u> </u>	<u> </u>
All weather habitable porches and balconies	<u> </u>	<u> </u>
Total Gross Floor Area (GFA)	<u>2250</u>	<u>2450</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>5780</u>	<u>5580</u>
Landscaped Open Space (% of GFA)	<u>74%</u>	<u>72%</u>
Usable Open Space (Sq. Ft.)	<u>4875</u>	<u>4409</u>
Usable Open Space (% of GFA)	<u>63%</u>	<u>57%</u>

This worksheet applies to plans dated n/a designed by n/a

Reviewed with Building Inspector: _____ Date: _____



Town of Arlington
Zoning Board of Appeals
23 Maple Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2A of the Zoning Bylaws that there has been an application filed by **Kate and Anthony Gregorio** of Arlington, MA. On November 21, 2023 a petition seeking permission to alter their property located at **9 Morton Road - Block Plan 135.0-0001-0006.0**. Said petition would require a Variance under **Section 5.9.2(B)(1)(Paragraph 5)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on January 23, 2024 as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

DOCKET NO 3779

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



SP-24-1	Primary Location	Applicant
Special Use Permit Application (ZBA)	9 MORTON RD Arlington, MA 02476	Kate Gregorio +1 315-382-0559 katemgregorio@gmail.com
Status: Active	Owner	9 Morton Rd
Submitted On: 1/23/2024	GREGORIO ANTHONY J; GREGORIO KATHARINE M	Arlington, MA 02476
	9 MORTON ROAD ARLINGTON, MA 02476	

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.*

Sections 5.3.13 and 5.9.2

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The primary use will be as an extended office space for the current occupants of the existing home, reducing traffic and emissions required for commuting to an office elsewhere. Secondary use will be as a living space for one of our parents, should they fall ill or unable to care for themselves, allowing our parents to age in place with us.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

Neither the primary or secondary use would include any additional vehicles, and would in fact reduce traffic congestion. As far as pedestrian safety, the access point will be through our primary home's back door -- which should not impact public pedestrian traffic in any way.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

Our home currently houses 4 occupants in 4 bedrooms. This additional structure would not increase the occupancy unless one of our parents moves in, in which case the occupancy for the entire property would remain capped at 5 people, which is well within the load intended for a single family house in R1 zoning.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

Section 8.1.6 : Reduction or Increase

We are requesting a variance in setback regulations, from 6 feet to 3.5 feet. Our property boundary has a unique shape which tapers toward the back, and has a number of mature trees/plantings that result in limited space available for construction. The irregular shape of our lot restricts our ability to meet the standard 6' setbacks required by the Zoning Bylaw.

Strict enforcement of the 6' setbacks would create substantial hardship for our plans. Adhering to these setback requirements would force us to significantly reduce the size of the accessory dwelling unit or even prevent us from constructing it altogether. This reduction in living space could negatively impact the functionality and long-term usability of the ADU.

Granting this variance would not be detrimental to the public good. The proposed ADU will comply with all other aspects of the Zoning Bylaw, including height, lot coverage, and design standards. Furthermore, it aligns with the town's encouragement of ADU development (Section 5.9.2 A). Our neighbors have expressed support for the project, and we have taken steps to ensure that the ADU's design is in harmony with the surrounding properties.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The main purpose of the setback requirements is to ensure adequate spacing between structures for safety and aesthetics. The proposed "ADU" structure will maintain a reasonable distance from adjacent properties and will not compromise safety or the aesthetic character of the neighborhood. Additionally, it supports the town's policy to promote accessory dwelling units as a means to address housing needs while respecting the existing neighborhood context.

In more detail:

- We will still have 3.5'+ setbacks on all sides which is more than some other ADUs in Arlington (which have either been granted Variance Permits or Special Use Permits).
- Many of our neighbors have out-buildings within 3' of our property lines.
- This structure would still be more than 100' away from any other dwellings due to the lot sizes of the neighboring properties.
- Most neighbors wouldn't be able to see it at all due to the trees and privacy property fence already in place.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The primary use will be as an extended office space for the current occupants of the existing home. Secondary use will be as a living space for one of our parents, should they fall ill or unable to care for themselves. Neither of these use cases will substantially impact the number of occupants of the property as a whole, or change the character of how we use our property in any way.

Dimensional and Parking Information

Present Use/Occupancy *

SF Residential

Proposed Use/Occupancy *

Residential

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*	Proposed Gross Floor Area (Sq. Ft.)*
2250	2450
Existing Lot Size (Sq. Ft.)*	Proposed Lot Size (Sq. Ft.)* 
7744	7744
Minimum Lot Size required by Zoning*	Existing Frontage (ft.)*
6000	80
Proposed Frontage (ft.)*	Minimum Frontage required by Zoning*
80	60
Existing Floor Area Ratio*	Proposed Floor Area Ratio*
0.29	0.31
Max. Floor Area Ratio required by Zoning*	Existing Lot Coverage (%)*
0.35	0.145
Proposed Lot Coverage (%)*	Max. Lot Coverage required by Zoning*
0.158	0.35
Existing Lot Area per Dwelling Unit (Sq. Ft.)*	Proposed Lot Area per Dwelling Unit (Sq. Ft.)*
7740	3872
Minimum Lot Area per Dwelling Unit required by Zoning*	Existing Front Yard Depth (ft.)*
0	30

Proposed Front Yard Depth (ft.)*	Minimum Front Yard Depth required by Zoning*
30	0
Existing Left Side Yard Depth (ft.)*	Proposed Left Side Yard Depth (ft.)*
0	3.5
Minimum Left Side Yard Depth required by Zoning*	Existing Right Side Yard Depth (ft.)*
6	0
Proposed Right Side Yard Depth (ft.)*	Minimum Right Side Yard Depth required by Zoning*
3.5	6
Existing Rear Yard Depth (ft.)*	Proposed Rear Yard Depth (ft.)*
0	3.5
Minimum Rear Yard Depth required by Zoning*	Existing Height (stories)
6	0
Proposed Height (stories)*	Maximum Height (stories) required by Zoning*
1	2.5
Existing Height (ft.)*	Proposed Height (ft.)*
0	10
Maximum Height (ft.) required by Zoning*	
35	

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*	Proposed Landscaped Open Space (Sq. Ft.)*
5780	5580
Existing Landscaped Open Space (% of GFA)*	Proposed Landscaped Open Space (% of GFA)*
74	72
Minimum Landscaped Open Space (% of GFA) required by Zoning*	Existing Usable Open Space (Sq. Ft.)*
0	4875
Proposed Usable Open Space (Sq. Ft.)*	Existing Usable Open Space (% of GFA)*
4409	63
Proposed Usable Open Space (% of GFA)*	Minimum Usable Open Space required by Zoning*
57	0
Existing Number of Parking Spaces*	Proposed Number of Parking Spaces*
4	4
Minimum Number of Parking Spaces required by Zoning*	Existing Parking area setbacks
0	0
Proposed Parking area setbacks *	Minimum Parking Area Setbacks required by Zoning*
0	0

Existing Number of Loading Spaces	Proposed Number of Loading Spaces*
0	0
Minimum Number of Loading Spaces required by Zoning*	Existing Slope of proposed roof(s) (in. per ft.)*
0	0
Proposed Slope of proposed roof(s) (in. per ft.)*	Minimum Slope of Proposed Roof(s) required by Zoning*
0.2	0
Existing type of construction*	Proposed type of construction*
0	V

Open Space Information

Existing Total Lot Area*	Proposed Total Lot Area*
7740	7740
Existing Open Space, Usable*	Proposed Open Space, Usable*
4875	4409

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area	Accessory Building, Proposed Gross Floor Area
0	200

Basement or Cellar, Existing Gross Floor Area ?	Basement or Cellar, Proposed Gross Floor Area
1125	1125
1st Floor, Existing Gross Floor Area	New Field
1125	—
1st Floor, Proposed Gross Floor Area	2nd Floor, Existing Gross Floor Area
1125	—
2nd Floor, Proposed Gross Floor Area	3rd Floor, Existing Gross Floor Area
—	—
3rd Floor, Proposed Gross Floor Area	4th Floor, Existing Gross Floor Area
—	—
4th Floor, Proposed Gross Floor Area	5th Floor, Existing Gross Floor Area
—	—
5th Floor, Proposed Gross Floor Area	Attic, Existing Gross Floor Area ?
—	—
Attic, Proposed Gross Floor Area	Parking Garages, Existing Gross Floor Area ?
—	—
Parking Garages, Proposed Gross Floor Area	All weather habitable porches and balconies, Existing Gross Floor Area
—	—

All weather habitable porches and balconies,
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

2250



Total Proposed Gross Floor Area

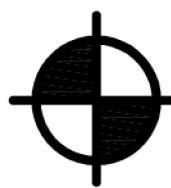
2450



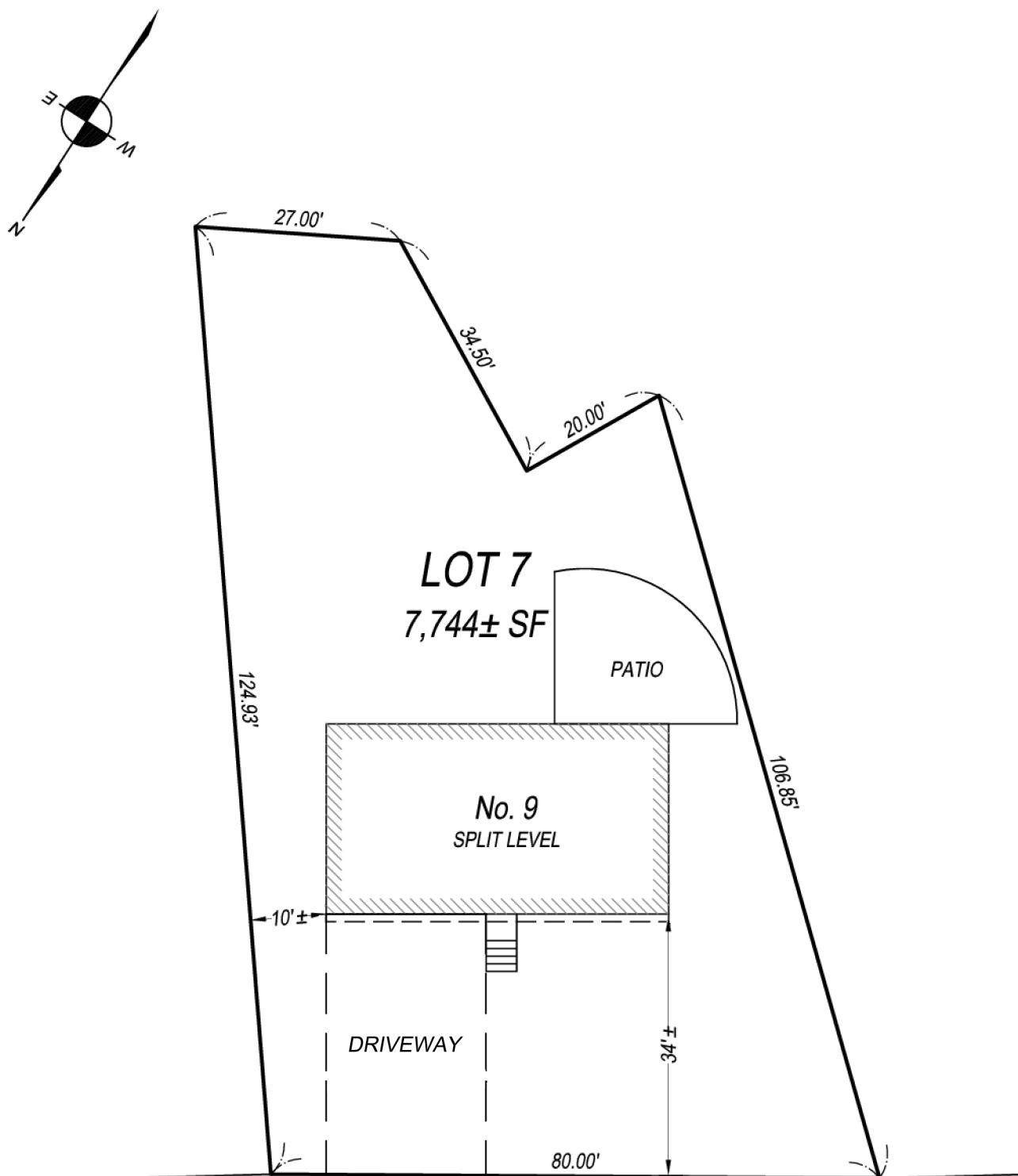
MORTGAGE INSPECTION PLAN

21-03486

LOCATION: 9 MORTON ROAD
CITY, STATE: ARLINGTON, MA
APPLICANT: GREGORIO
CERTIFIED TO: RESIDENTIAL MORTGAGE
DATE: 03-16-2021



BOSTON
SURVEY, INC.
P.O. BOX 290220
CHARLESTOWN, MA 02129
T (617) 242-1313; F (617) 242-1616
WWW.BOSTONSURVEYINC.COM



MORTON ROAD

SCALE: 1" = 20'

FLOOD DETERMINATION

According to Federal Emergency Management Agency maps, the major improvements on this property fall in an area designated as ZONE: X

COMMUNITY PANEL No. 25017C0416E

EFFECTIVE DATE: 6/4/2010

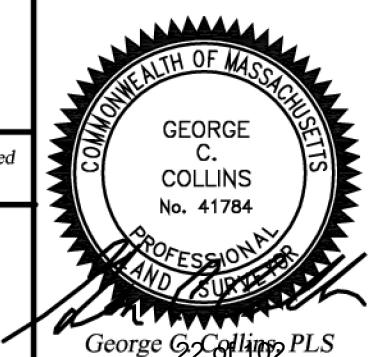
REFERENCES

DEED REF: 57807/594
PLAN REF: 6099/END

NOTE: To show an accurate scale this plan must be printed on legal sized paper (8.5" x 14")

The permanent structures are approximately located on the ground as shown. They either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction, or are exempt from violation enforcement action under M.G.L. Title VII, Chapter 40A, Section 7, and that are no encroachments of major improvements across property lines except as shown and noted hereon.

This is not a boundary or title insurance survey. This plan should not be used for construction, recording purposes or verification of property lines.



George C. Collins, PLS
22 of 102

SITE PLAN

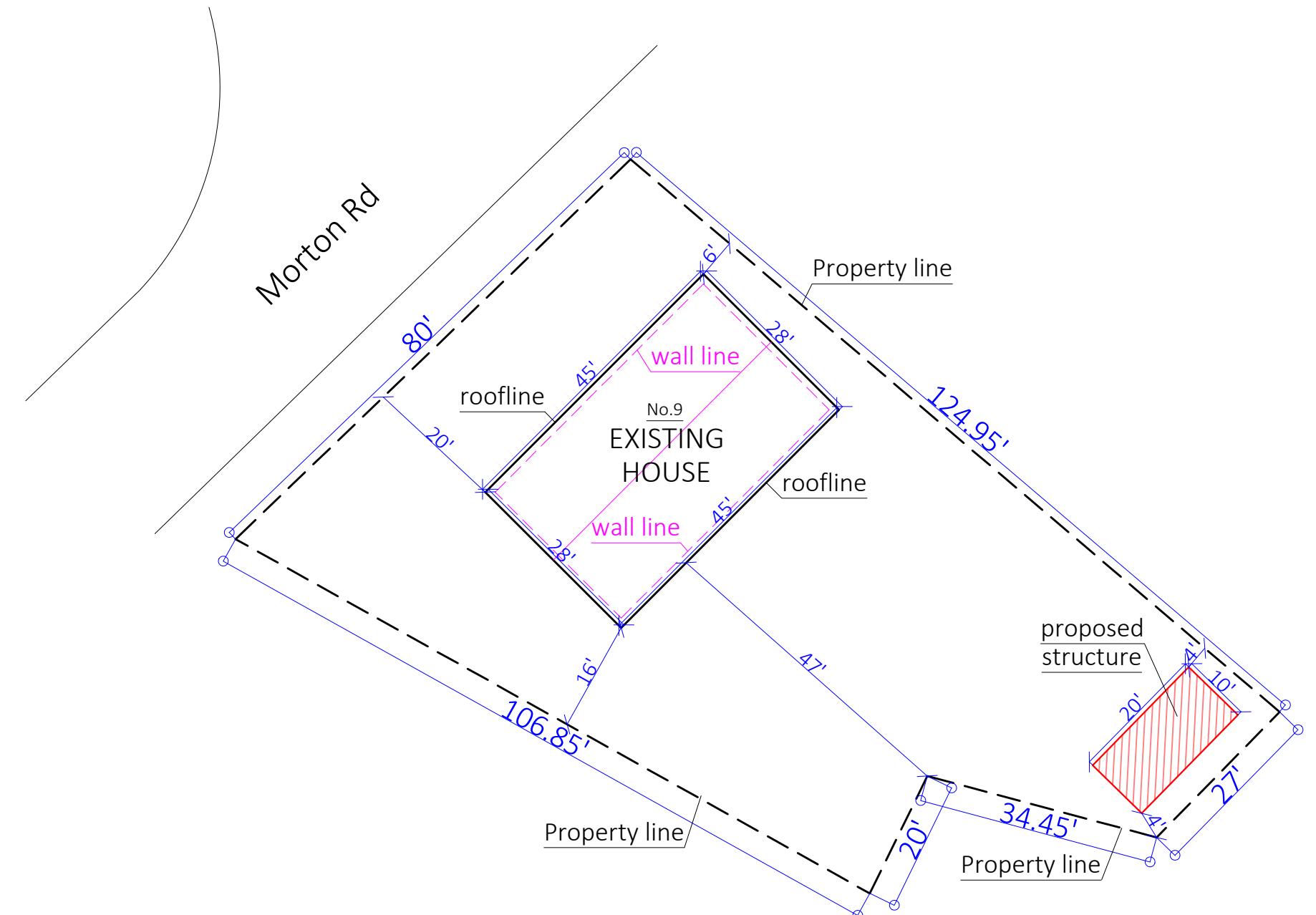
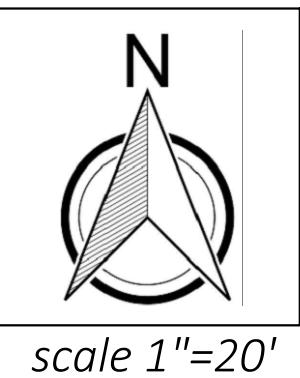
9 Morton Rd

Arlington, MA 02476

Parcel ID: ARLI M:135.0 B:0001 L:0006

Lot area: 0.18 Acres

Paper Size: 11"x17"





Current Size: 10x20x8

 [View Shed In AR](#)

From: Kate and Anthony Gregorio, 9 Morton Rd. Arlington MA 02476

To: Zoning Board of Appeals, Arlington MA

On: ZBA Meeting, Tuesday March 12, 2024

Regarding: Continuance Request

Dear Chairman and Board Members,

We are writing to request a continuance to our ZBA Special Use/Variance Permit Application. We do not yet have plans ready to share with the board.

If possible, we'd like to defer until May, as we anticipate a delay and slowdown in the coming months.

Thank you for your time,

Anthony and Kate Gregorio
9 Morton Rd



Town of Arlington, Massachusetts

Docket #3781 165 Franklin Street (continuance)

ATTACHMENTS:

Type	File Name	Description
Reference Material	#3781_165_Franklin_Street_Legal_ad.pdf	#3781 165 Franklin Street Legal ad
Reference Material	#3781_165_Franklin_Street_Special_Permit.pdf	#3781 165 Franklin Street Special Permit
Reference Material	23057_-_165_Franklin_St.Arlington_MA_INITIAL_SET.pdf	165 Franklin St. Initial Drawings
Reference Material	165_Franklin_St._Second_Decision_AHC.pdf	165 Franklin St. Second Decision AHC 02052024
Reference Material	ARL.182_Inventory_165-167_Franklin_St._1850.pdf	ARL.182 Inventory 165-167 Franklin St 1850 AHC 020524
Reference Material	23057_-_165_Franklin_St.Arlington_MA_AHC_09JAN24_(1).pdf	23057 - 165 Franklin St.Arlington, MA AHC 09JAN24
Reference Material	23057_-_165_Franklin_St.Arlington_MA_-_9JAN24_(11X17).pdf	23057 - 165 Franklin St.Arlington, MA - 9JAN24 (11X17)
Reference Material	23057_-_165_Franklin_St.Arlington_MA_9JAN24.pdf	23057 - 165 Franklin St.Arlington, MA 9JAN24
Reference Material	B_Mangrum_letter_165_Franklin.pdf	B Mangrum letter 165 Franklin
Reference Material	23057_165_Franklin_St_Arlington_MA_7MAR24_ZBA11X17.pdf	165 Franklin St Arlington MA 7MAR24
Reference Material	#3781_165_Franklin_St._Arlington_MA_GFA_3-12-2024.pdf	#3781 165 Franklin St. Arlington MA GFA 3-12-2024
Reference Material	#3781_65_Franklin_St_Arlington_MA_Z0_3-12-2024.pdf	#3781 65 Franklin St Arlington MA Z0 3-12-2024



Town of Arlington
Zoning Board of Appeals
23 Maple Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **165 Franklin Street, LLC** of Arlington, MA. on December 7, 2023, a petition seeking to alter their property located at **165 Franklin Street - Block Plan 044.0-0001-0013.0**. Said petition would require a **Special Permit** under **Section 5.4.2(B)(6)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on February 13, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

DOCKET NO 3781

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



SP-23-8	Primary Location	Applicant
Special Use Permit Application (ZBA)	165 FRANKLIN ST Arlington, MA 02474	Gregory Zalanskas
Status: Active	Owner	+1 978-835-5194
Submitted On: 12/7/2023	Kristen Germano FRANKLIN ST 165 ARLINGTON, MA 02474	greg.zalanskas@comcast.net
		34 Birch Rd MA Andover, Ma 01810

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.*

5,4,2,B,6 large additions

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Larger Dwellings units and generous lot will be desirable to families, and long term ownership.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

the intensity of use ,or occupancy does not change from the existing two family residence.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

there is no increase in the number of households and therefore will not result in an increased burden on systems and services.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

the increase in area will conform to the required setbacks, allowed height, and lot coverage.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

the proposed & renovated structure will be in keeping with adjacent structures, and shall not be detrimental to the health or welfare of the neighborhood.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

the use remains a 2 family residence, the massing of 2 attached homes, and character of the structure will be similar to that of detached single family structures in the vicinity.

Dimensional and Parking Information

Present Use/Occupancy *

two family

Proposed Use/Occupancy *

two family

Existing Number of Dwelling Units*

2

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

4102

Proposed Gross Floor Area (Sq. Ft.)*

7563

Existing Lot Size (Sq. Ft.)*

11088

Proposed Lot Size (Sq. Ft.)* 

11088

Minimum Lot Size required by Zoning*	Existing Frontage (ft.)*
6000	56
Proposed Frontage (ft.)*	Minimum Frontage required by Zoning*
56	60
Existing Floor Area Ratio*	Proposed Floor Area Ratio*
0.37	0.68
Max. Floor Area Ratio required by Zoning*	Existing Lot Coverage (%)*
-1	15
Proposed Lot Coverage (%)*	Max. Lot Coverage required by Zoning*
28.5	35
Existing Lot Area per Dwelling Unit (Sq. Ft.)*	Proposed Lot Area per Dwelling Unit (Sq. Ft.)*
5544	5544
Minimum Lot Area per Dwelling Unit required by Zoning*	Existing Front Yard Depth (ft.)*
3000	37
Proposed Front Yard Depth (ft.)*	Minimum Front Yard Depth required by Zoning*
37	20
Existing Left Side Yard Depth (ft.)*	Proposed Left Side Yard Depth (ft.)*
8.8	9

Minimum Left Side Yard Depth required by Zoning*	Existing Right Side Yard Depth (ft.)*
10	11.8
Proposed Right Side Yard Depth (ft.)*	Minimum Right Side Yard Depth required by Zoning*
11.2	10
Existing Rear Yard Depth (ft.)*	Proposed Rear Yard Depth (ft.)*
94.5	32.2
Minimum Rear Yard Depth required by Zoning*	Existing Height (stories)
11	2.5
Proposed Height (stories)*	Maximum Height (stories) required by Zoning*
2.5	2.5
Existing Height (ft.)*	Proposed Height (ft.)*
32.25	32.88
Maximum Height (ft.) required by Zoning*	
35	

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*	Proposed Landscaped Open Space (Sq. Ft.)*
5948	6125

Existing Landscaped Open Space (% of GFA)*	Proposed Landscaped Open Space (% of GFA)*
250	81
Minimum Landscaped Open Space (% of GFA) required by Zoning*	Existing Usable Open Space (Sq. Ft.)*
10	5948
Proposed Usable Open Space (Sq. Ft.)*	Existing Usable Open Space (% of GFA)*
3468	201
Proposed Usable Open Space (% of GFA)*	Minimum Usable Open Space required by Zoning*
46	30
Existing Number of Parking Spaces*	Proposed Number of Parking Spaces*
4	4
Minimum Number of Parking Spaces required by Zoning*	Existing Parking area setbacks
2	—
Proposed Parking area setbacks *	Minimum Parking Area Setbacks required by Zoning*
64	20
Existing Number of Loading Spaces	Proposed Number of Loading Spaces*
0	0
Minimum Number of Loading Spaces required by Zoning*	Existing Slope of proposed roof(s) (in. per ft.)*
0	8

Proposed Slope of proposed roof(s) (in. per ft.)*	Minimum Slope of Proposed Roof(s) required by Zoning*
8	2
Existing type of construction*	Proposed type of construction*
wood	wood frame

Open Space Information

Existing Total Lot Area*	Proposed Total Lot Area*
11088	11088
Existing Open Space, Usable*	Proposed Open Space, Usable*
5948	3468
Existing Open Space, Landscaped*	Proposed Open Space, Landscaped*
250	81

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area	Accessory Building, Proposed Gross Floor Area
0	0
Basement or Cellar, Existing Gross Floor Area ⓘ	Basement or Cellar, Proposed Gross Floor Area
1159	1964
1st Floor, Existing Gross Floor Area	New Field
1661	0

1st Floor, Proposed Gross Floor Area	2474	2nd Floor, Existing Gross Floor Area	
2nd Floor, Proposed Gross Floor Area	2567	3rd Floor, Existing Gross Floor Area	0
3rd Floor, Proposed Gross Floor Area	0	4th Floor, Existing Gross Floor Area	0
4th Floor, Proposed Gross Floor Area	0	5th Floor, Existing Gross Floor Area	0
5th Floor, Proposed Gross Floor Area	0	Attic, Existing Gross Floor Area 	99
Attic, Proposed Gross Floor Area	558	Parking Garages, Existing Gross Floor Area 	0
Parking Garages, Proposed Gross Floor Area	606	All weather habitable porches and balconies, Existing Gross Floor Area	0
All weather habitable porches and balconies, Proposed Gross Floor Area	0	Total Existing Gross Floor Area	4102 
Total Proposed Gross Floor Area	8169 		

Attachments



23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf

23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf

Uploaded by Gregory Zalanskas on Dec 8, 2023 at 2:35 PM



Supporting Documentation [worksheet and drawings]

plans 165 Franklin St. Arlington MA - 1st set for special permit.pdf

Uploaded by Gregory Zalanskas on Dec 7, 2023 at 3:59 PM

REQUIRED

History

Date	Activity
11/25/2023, 9:43:31 AM	Gregory Zalanskas started a draft of Record SP-23-8
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerEmail from "" to "greg.zalanskas@comcast.net"
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerName from "CHELARIU CRISTIAN" to "Kristen Germano"
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerPhoneNo from "" to "6175290332"
11/25/2023, 9:46:00 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerStreetName from "165 FRANKLIN ST" to " FRANKLIN ST"
11/25/2023, 9:46:00 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerStreetNo from "" to "165"
12/7/2023, 4:01:02 PM	Gregory Zalanskas submitted Record SP-23-8
12/7/2023, 4:01:03 PM	Gregory Zalanskas submitted Record SP-23-8
12/7/2023, 4:01:03 PM	approval step Zoning Administrator Review was assigned to Colleen Ralston on Record SP-23-8
12/8/2023, 2:35:35 PM	Gregory Zalanskas added attachment 23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf to Record SP-23-8
12/11/2023, 11:40:32 AM	Colleen Ralston approved approval step Zoning Administrator Review on Record SP-23-8

Date	Activity
12/11/2023, 11:40:32 AM	approval step Building Inspector Review was assigned to Michael Ciampa on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Gross Floor Area (Sq. Ft.) from "4258" to "4102" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Gross Floor Area (Sq. Ft.) from "6102" to "7563" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Floor Area Ratio from "0.38" to "0.37" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Floor Area Ratio from "0.55" to "0.68" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Max. Floor Area Ratio required by Zoning from "0" to "-1" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Lot Coverage (%) from "28" to "28.5" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Rear Yard Depth (ft.) from "94.63" to "94.5" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Rear Yard Depth (ft.) from "37.2" to "32.2" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Minimum Rear Yard Depth required by Zoning from "12" to "11" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Landscaped Open Space (Sq. Ft.) from "3468" to "6125" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Landscaped Open Space (% of GFA) from "139" to "250" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Landscaped Open Space (% of GFA) from "57" to "81" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Usable Open Space (% of GFA) from "139" to "201" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Usable Open Space (% of GFA) from "57" to "46" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Parking area setbacks from "65" to "64" on Record SP-23-8
12/13/2023, 10:04:41 AM	Kerri O'Brien changed Minimum Parking Area Setbacks required by Zoning from "15" to "20" on Record SP-23-8
12/13/2023, 10:04:41 AM	Kerri O'Brien changed Minimum Slope of Proposed Roof(s) required by Zoning from "0" to "2" on Record SP-23-8

Date	Activity
12/13/2023, 10:05:08 AM	Kerri O'Brien changed Existing Open Space, Landscaped from "139" to "250" on Record SP-23-8
12/13/2023, 10:05:08 AM	Kerri O'Brien changed Proposed Open Space, Landscaped from "57" to "81" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Basement or Cellar, Proposed Gross Floor Area from "1936" to "1964" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Total Proposed Gross Floor Area from "8644" to "8169" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Attic, Existing Gross Floor Area from "255" to "99" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Total Existing Gross Floor Area from "4258" to "4102" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Attic, Proposed Gross Floor Area from "1061" to "558" on Record SP-23-8

Timeline

Label	Activated	Completed	Assignee	Due Date
✓ Zoning Administrator Review	12/7/2023, 4:01:03 PM	12/11/2023, 11:40:32 AM	Colleen Ralston	-
✓ Building Inspector Review	12/11/2023, 11:40:32 AM	-	Michael Ciampa	-
✓ Create Docket Number	-	-	-	-
✓ Create Legal Notice	-	-	-	-
✓ Legal Notice Stamped by Town Clerk	-	-	-	-
✓ Request abutters list from Assessors	-	-	-	-
✓ Send Legal Notice to Newspaper	-	-	-	-
✓ Send Legal Notice to Abutters	-	-	-	-
✓ Create Docket Folder (Z Drive)	-	-	-	-

Label	Activated	Completed	Assignee	Due Date
✓ Share with Planning	-	-	-	-
✓ Create Item in Novus Agenda (add documents)	-	-	-	-
✓ Add Item to Meeting Agenda	-	-	-	-
✓ Building Inspector letter to Novus Agenda	-	-	-	-
✓ Create Meeting for Town Calendar	-	-	-	-
✓ Add Draft decision to the Meeting Agenda	-	-	-	-
✓ Approved Decisions send to DocuSign	-	-	-	-
✓ Completed Decisions to the Town Clerk for Date Stamp	-	-	-	-
✓ Completed Decisions with Date Stamp add to the Docket Folder	-	-	-	-
✓ Permit Issued 20 days after decision (signed and stamped)*	-	-	-	-
💲 Application Fee	-	-	Gregory Zalanskas	-

165 FRANKLIN STREET
ARLINGTON, MA

EXISTING CONDITIONS:
PLANS AND ELEVATIONS

Drawing Title:

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

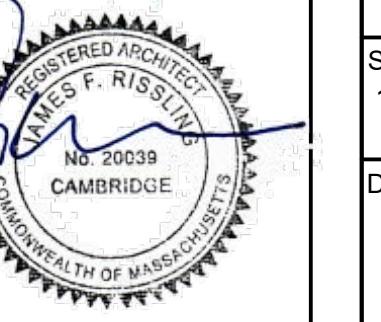
Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:



EX1.1

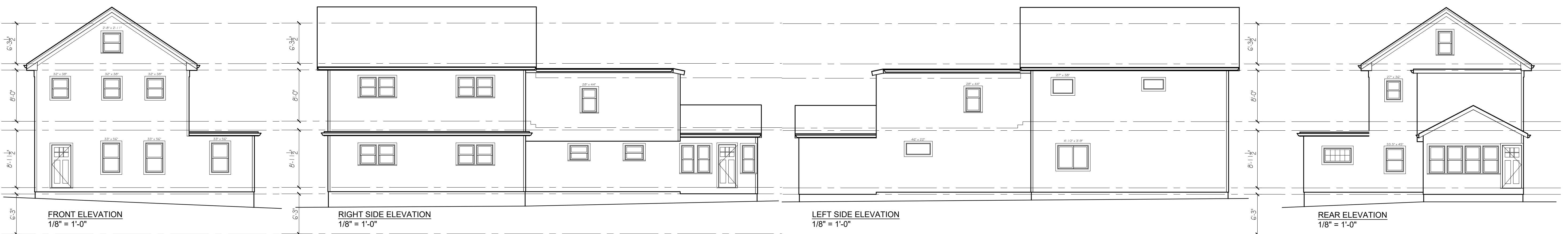


BASEMENT PLAN
1/8" = 1'-0"

FIRST FLOOR PLAN
1/8" = 1'-0"

SECOND FLOOR PLAN
1/8" = 1'-0"

ATTIC PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"

RIGHT SIDE ELEVATION
1/8" = 1'-0"

LEFT SIDE ELEVATION
1/8" = 1'-0"

REAR ELEVATION
1/8" = 1'-0"

A

B

C

D

165 FRANKLIN STREET ARLINGTON, MA

PHOTO MONTAGE

Project Title:

Drawing Title:

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

IMAGES



A
IMAGE 1
FRONT



IMAGE 2
FRONT



IMAGE 3
FRONT



B
IMAGE 4
FRONT CIRCA 1980 - MHC IMAGE



IMAGE 5
FRONT RIGHT CORNER

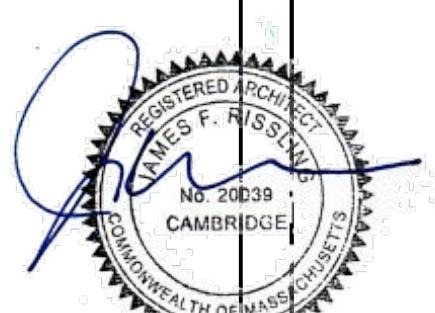


C
IMAGE 6
REAR RIGHTSIDE

PROPOSED RENOVATIONS: PLANS

SD1.1

Project Title:



Drawing Title:

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

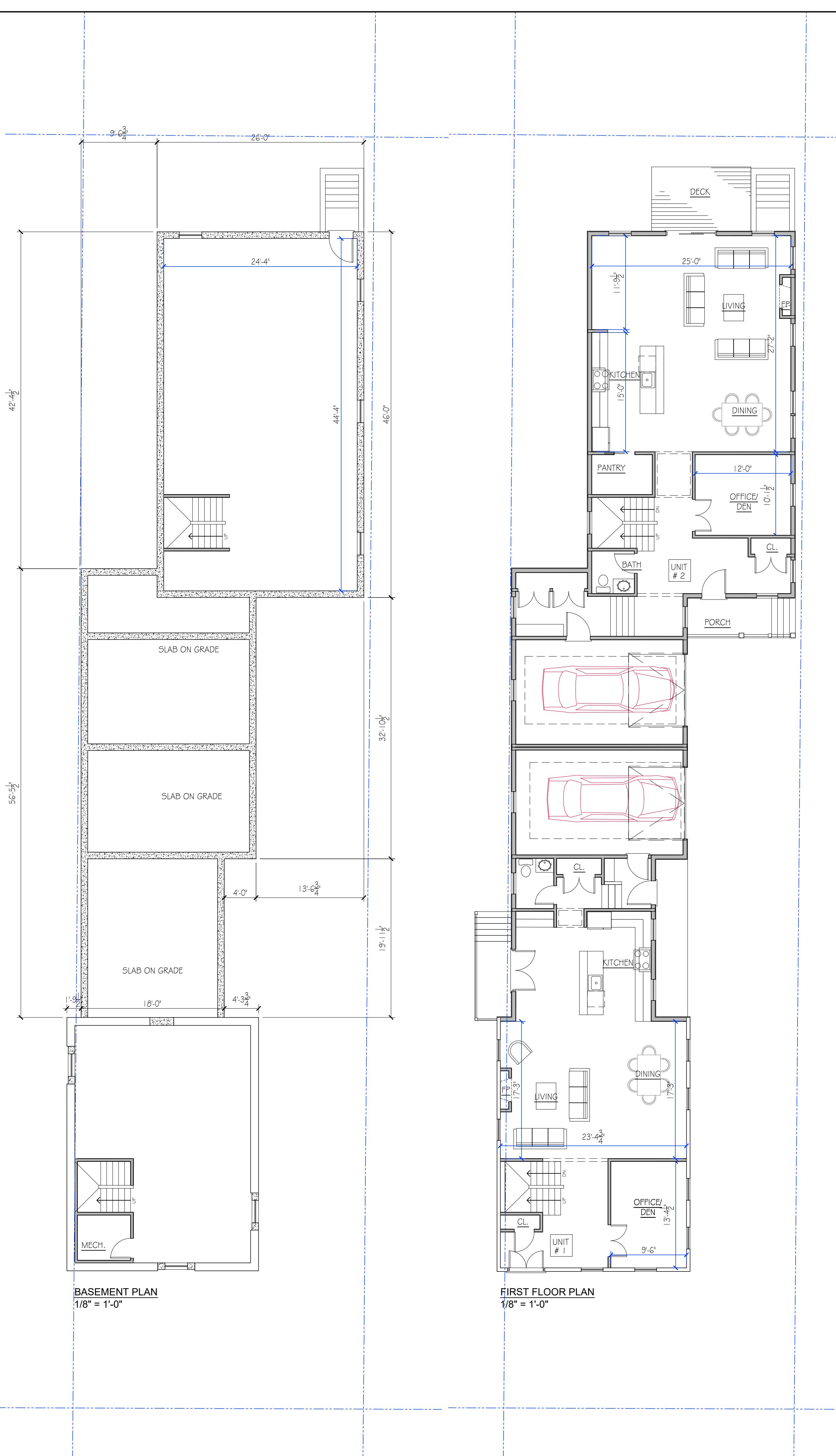
Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:



A

B

C

D



PROPOSED RENOVATIONS: EXTERIOR ELEVATIONS (EXISTING & PROPOSED)

ect #	22028
own By: EE	Reviewed By: JFR
le: 3" = 1'-0"	Date: 8DEC23
wing #:	

SD2.2

**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS**

SD2.1

Project Title:

22028

Drawn By:

EE

Reviewed By:

JFR

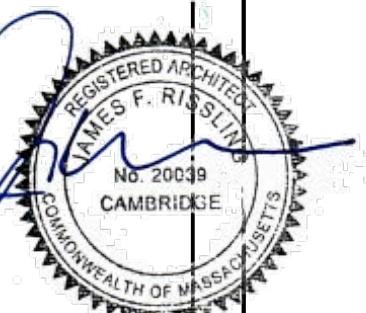
Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:



Drawing Title:
PROPOSED FRONT ELEVATION

1/4 = 1'-0"

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

SD2.1

Project Title:

165 FRANKLIN STREET
ARLINGTON, MA

Proposed Front Elevation

1/4 = 1'-0"

Proposed Right Side Elevation

3/16 = 1'-0"

Proposed Rear Elevation

3/16 = 1'-0"

Proposed Left Side Elevation

3/16 = 1'-0"

Proposed Garage Elevation

3/16 = 1'-0"

Proposed Attic Elevation

3/16 = 1'-0"

Proposed Porch Elevation

3/16 = 1'-0"

Proposed Deck Elevation

3/16 = 1'-0"

Proposed Stair Elevation

3/16 = 1'-0"

Proposed Roof Elevation

3/16 = 1'-0"

Proposed Foundation Elevation

3/16 = 1'-0"

Proposed Exterior Elevation

3/16 = 1'-0"

Proposed Interior Elevation

3/16 = 1'-0"

Proposed Kitchen Elevation

3/16 = 1'-0"

Proposed Dining Room Elevation

3/16 = 1'-0"

Proposed Living Room Elevation

3/16 = 1'-0"

Proposed Bed Room Elevation

3/16 = 1'-0"

Proposed Bath Elevation

3/16 = 1'-0"

Proposed Laundry Elevation

3/16 = 1'-0"

Proposed Garage Elevation

3/16 = 1'-0"

Proposed Attic Elevation

3/16 = 1'-0"

Proposed Porch Elevation

3/16 = 1'-0"

Proposed Deck Elevation

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Proposed Stair Elevation

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Proposed Bath Elevation

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Proposed Laundry Elevation

3/16 = 1'-0"

Proposed Garage Elevation

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Proposed Attic Elevation

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Proposed Dining Room Elevation

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Proposed Bath Elevation

3/16 = 1'-0"

Proposed Laundry Elevation

3/16 = 1'-0"

Proposed Garage Elevation

3/16 = 1'-0"

Proposed Attic Elevation

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Proposed Porch Elevation

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Proposed Deck Elevation

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3/16 = 1'-0"

Proposed Bath Elevation

3/16 = 1'-0"

Proposed Laundry Elevation

3/16 = 1'-0"

Proposed Garage Elevation

3/16 = 1'-0"

Proposed Attic Elevation

3/16 = 1'-0"

Proposed Porch Elevation

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Proposed Deck Elevation

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Proposed Exterior Elevation

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Proposed Interior Elevation

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Proposed Kitchen Elevation

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Proposed Dining Room Elevation

3/16 = 1'-0"

Proposed Living Room Elevation

3/16 = 1'-0"

Proposed Bed Room Elevation

3/16 = 1'-0"

Proposed Bath Elevation

3/16 = 1'-0"

Proposed Laundry Elevation

THE ARLINGTON HISTORICAL COMMISSION
WHITTEMORE ROBBINS HOUSE
ARLINGTON, MASSACHUSETTS 02476
Menotomy • 1635 West Cambridge • 1807 Arlington • 1867

Memorandum

DATE: January 30, 2024
TO: Michael Ciampa, Director, Arlington Inspectional Services
CC: zba@town.arlington.ma.us
FROM: JoAnn Robinson, Chair, Arlington Historical Commission
RE: 165 Franklin Street–Second Phase Decision

This address is included on the Arlington Historical Commission Inventory of Significant Properties. The significant Greek revival building was built about 1850. Please see the attached inventory which describes the existing status in 1980.

At the meeting on January 9, 2024 the Arlington Historical Commission voted to approve the following.

The Commissioners approved the plans to build the garage and additional residence at the back of the original house. The plan for this addition is attached to this email. Once again, we will monitor the materials for all windows, siding, trim, etc. for the garage and second residence.

A motion was made by Commissioner Stange to move forward on the plans that describe the footprint and the dimensions of the addition behind the original building. Commissioner Schaefer seconded the motion and a roll call vote was taken and all voted in favor of the motion.

Please let me know if you have any questions.

Regards



JoAnn Robinson
Chair, Arlington Historical Commission

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	ARL.182
Historic Name:	Jones, William H. House
Common Name:	
Address:	165-167 Franklin St
City/Town:	Arlington
Village/Neighborhood:	Arlington Center;
Local No:	155;
Year Constructed:	C 1850
Architectural Style(s):	Greek Revival;
Use(s):	Multiple Family Dwelling House; Single Family Dwelling House;
Significance:	Architecture;
Area(s):	
Designation(s):	
Building Materials:	Roof: Asphalt Shingle; Wall: Wood; Wood Clapboard;
Demolished	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Tuesday, October 3, 2023 at 4:23 PM

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
294 Washington Street, Boston, MA 02108

Area	Form no.
	155 182

Re-Arl.Cut



Draw map showing property location in relation to nearest cross streets and other buildings or geographical features.
Indicate north.

Arlington, MA.

sl65-167 Franklin Street

ic Name William H. Jones House

riginal residential

resent "

hip: Private individual

Private organization

ris F. and Patricia M. Rahilly

Public

riginal owner William H. Jones

PTION:

Date c. 1850

Source Arlington maps and directories

Style Greek Revival/ Frame Vernacular hybrid

Architect

Exterior wall fabric Clapboard

Outbuildings

Major alterations (with dates)

Moved Date

Approx. acreage less than 1 acre

Setting

Recorded by E. Gordon, N. Doonan

Organization American Landmarks, Inc.

Date September 23, 1980

ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

One of the few houses in Northeast Arlington which possesses characteristics of a specific architectural style, this Greek Revival dwelling dates to Ca. 1850. Most of the houses on Franklin Street date to the early 20th Century. Its main facade is three bays long. Its main entrance is enframed by wide pilasters and a heavy entablature. The length of the windows to the right of the entrance has been reduced. Its stylistic affiliation notwithstanding, this residence plainly betrays its vernacular origins in the treatment of simple rear eaves and fenestration.

HISTORICAL SIGNIFICANCE (explain the role owners played in local or state history and how the building relates to the development of the community)

This house is the southernmost of a trio of houses on Northern Franklin Street built during the mid 19th Century. From the 1860's until the 1880's, it was the residence of William H. Jones. He is listed in the Arlington Mass. Business Directories as a clerk in 1869-70 and as a poultry dealer in 1883. By 1890, another poultry dealer, James H. Russell, occupied this dwelling.

BIBLIOGRAPHY and/or REFERENCES

1875 Beers & Co. Atlas

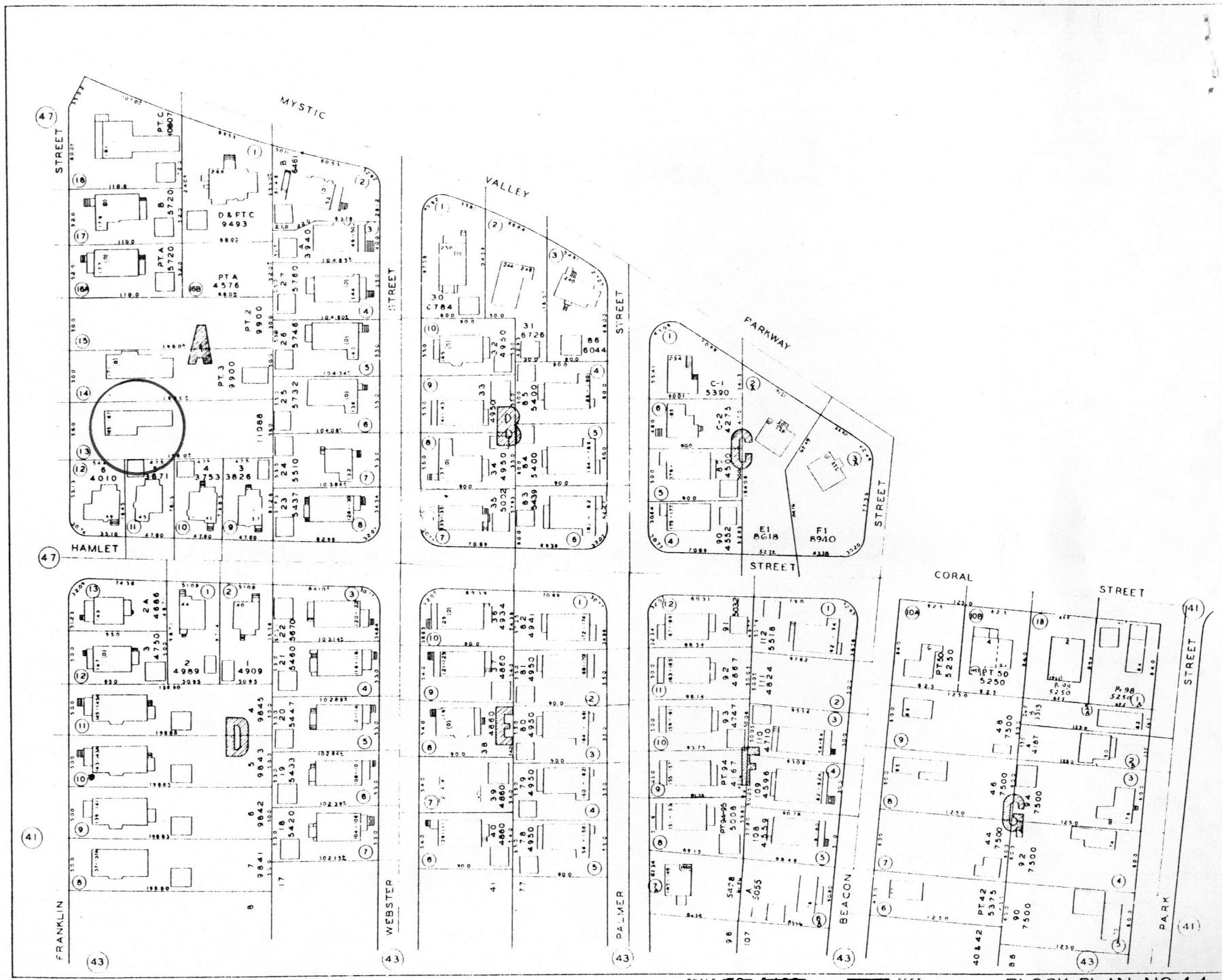
1884 Bird's Eye View of Arlington, Arlington Advocate

1898 Stadley & Co. Atlas

1923 Sanborn Map Co. Atlas

Arlington Directories of 1869/70, 1883, 1890, 1898, 1923

ARL-182



SCALE 50 of 102 FEE

BLOCK PLAN NO.44

165-167 Franklin Street

165 FRANKLIN STREET
ARLINGTON, MA

EXISTING CONDITIONS:
PLANS AND ELEVATIONS

Drawing Title:

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

9JAN24

Drawing #:

EX1.1

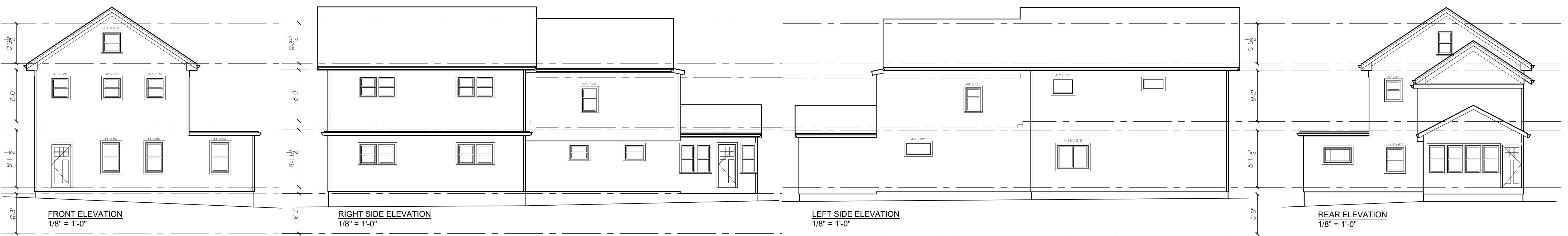


BASEMENT PLAN
1/8" = 1'-0"

FIRST FLOOR PLAN
1/8" = 1'-0"

SECOND FLOOR PLAN
1/8" = 1'-0"

ATTIC PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"

RIGHT SIDE ELEVATION
1/8" = 1'-0"

LEFT SIDE ELEVATION
1/8" = 1'-0"

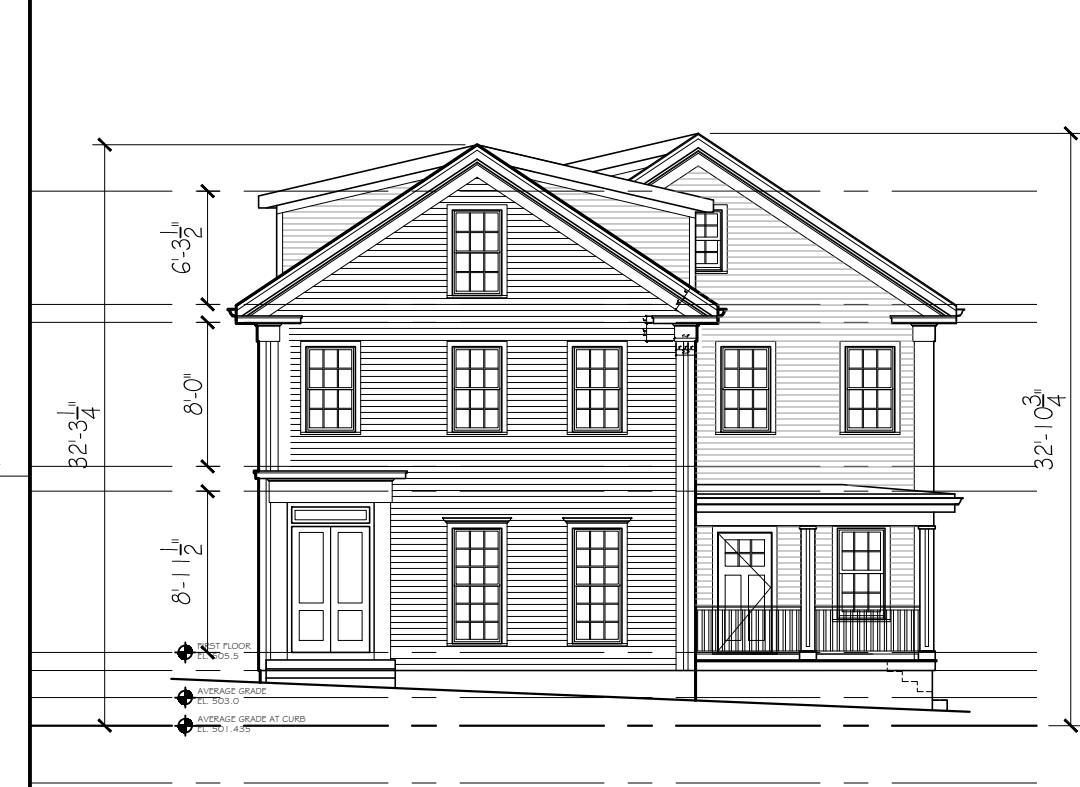
REAR ELEVATION
1/8" = 1'-0"

A

B

C

D



FRONT ELEVATION
3/32 = 1'-0"

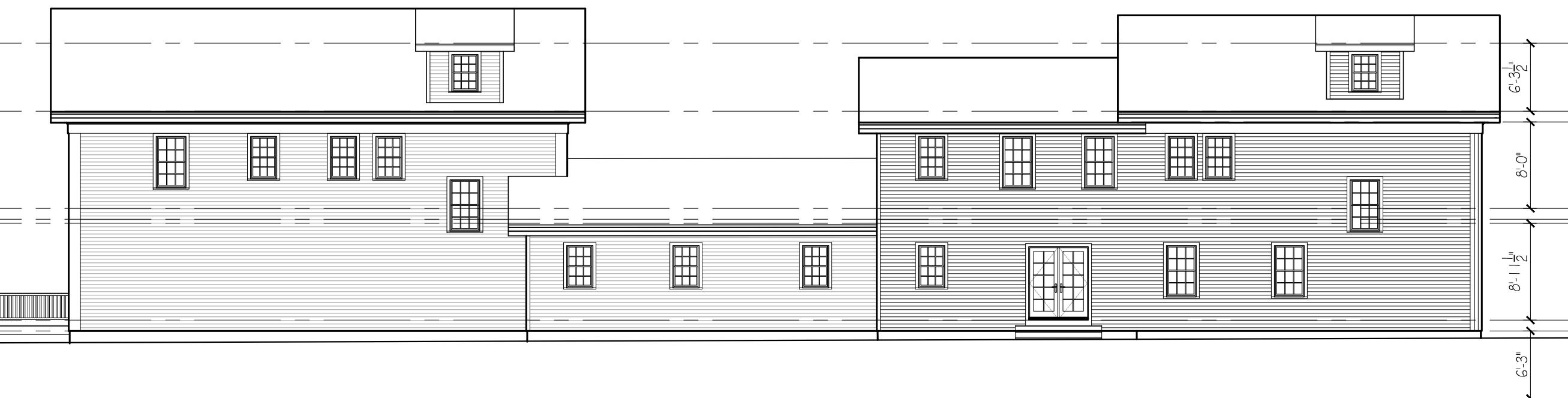


RIGHT SIDE ELEVATION
3/32 = 1'-0"

Revisions:		
#	Description	Date



REAR ELEVATION
3/32 = 1'-0"



LEFT SIDE ELEVATION
3/32 = 1'-0"

**165 Franklin Street
Arlington, MA**

Project Title:

**SCHEMATIC DESIGN:
EXTERIOR ELEVATIONS**

Drawing Title:

Rewisons:
Description date

Project #

23057

Scale:

3/32" = 1'-0"

Date:

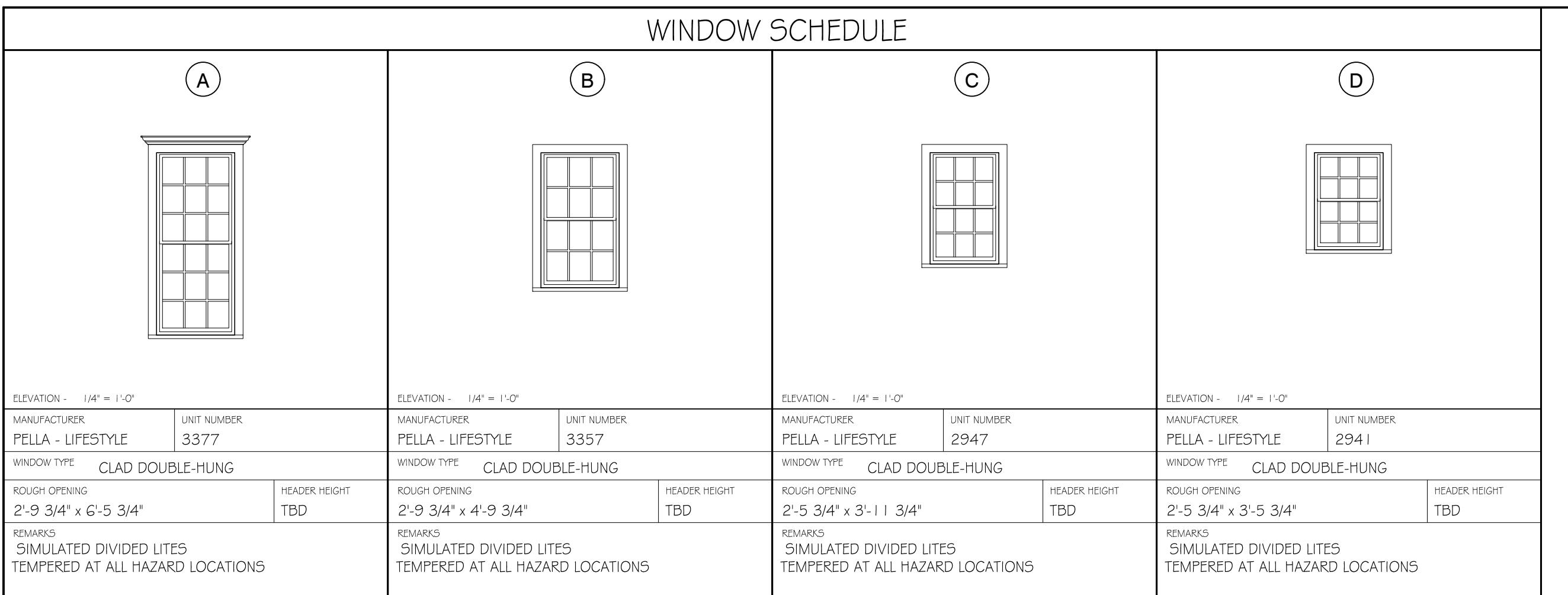
3OCT23

REV 2JAN24

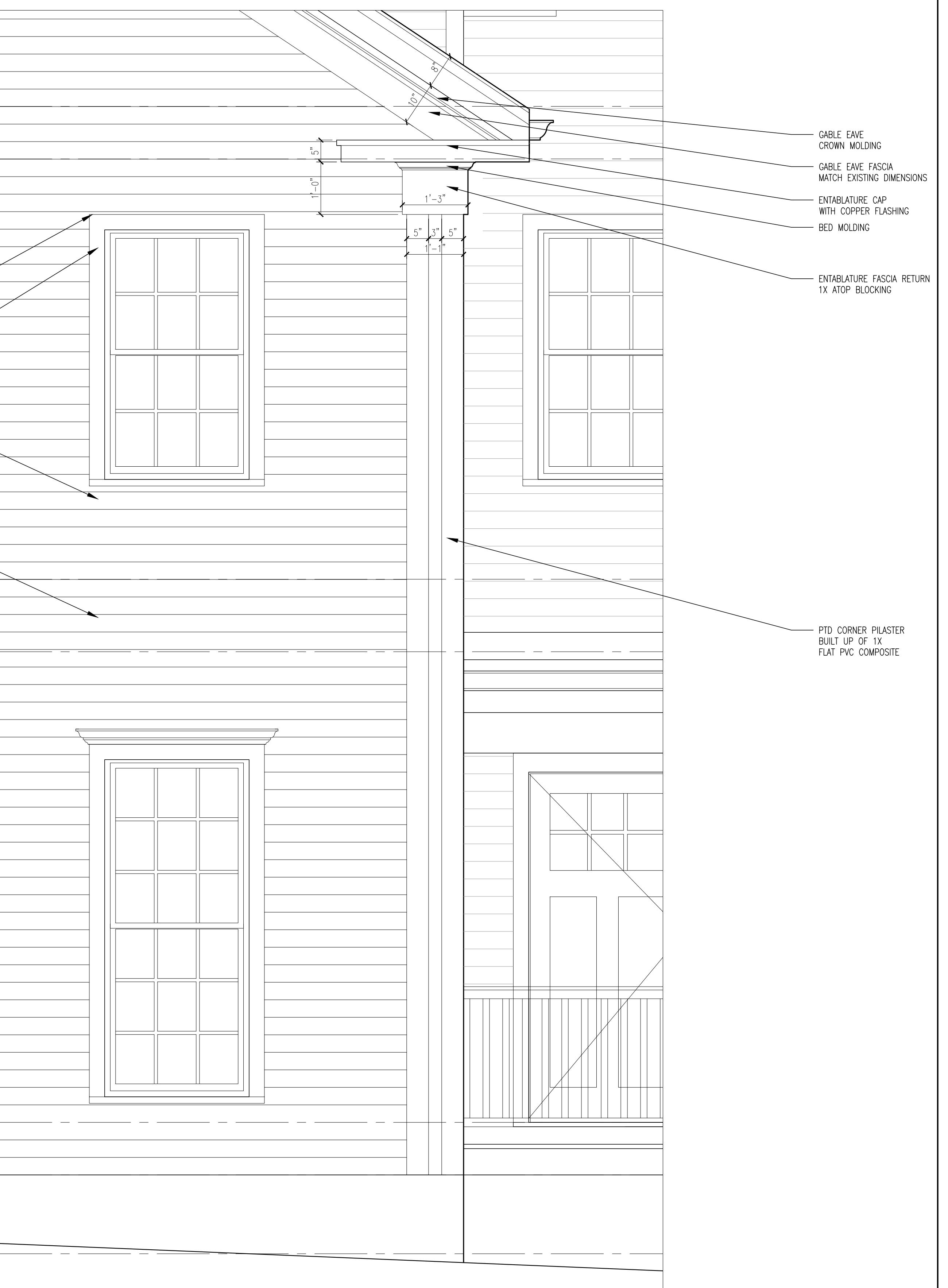
Drawing #

SD2.2

WINDOW SCHEDULE



NOTES:
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE
THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
PROVIDE TEMPERED GLAZING AT ALL HAZARD
LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED
LOCATIONS.



CORNER BOARD DETAILS

<p>Project Title:</p> <p>165 FRANKLIN STREET ARLINGTON, MA</p> <p>PROPOSED RENOVATIONS: EXTERIOR DETAILS</p>	
<p>Drawing Title:</p> <p>165 FRANKLIN STREET ARLINGTON, MA</p> <p>PROPOSED RENOVATIONS: EXTERIOR DETAILS</p>	
<p>Project #</p> <p>22028</p>	
<p>Drawn By:</p> <p>EE</p>	<p>Reviewed By:</p> <p>JFR</p>
<p>Scale:</p> <p>1/8" = 1'-0"</p>	<p>Date:</p> <p>9JAN24</p>
<p>Drawing #:</p> <p>SD3.1</p>	



A

IMAGE 1
FRONTIMAGE 2
FRONTIMAGE 3
FRONT

B

IMAGE 4
FRONT CIRCA 1980 - MHC IMAGEIMAGE 5
FRONT RIGHT CORNERIMAGE 6
REAR RIGHTSIDE

PHOTO MONTAGE

165 FRANKLIN STREET
ARLINGTON, MA

Project Title:

Drawing Title:

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

9JAN24

Drawing #:

IMAGES

D

165 FRANKLIN STREET
ARLINGTON, MA

EXISTING CONDITIONS
IMAGES

Project Title:
Drawing Title:

Project #
22028

Drawn By:
EE

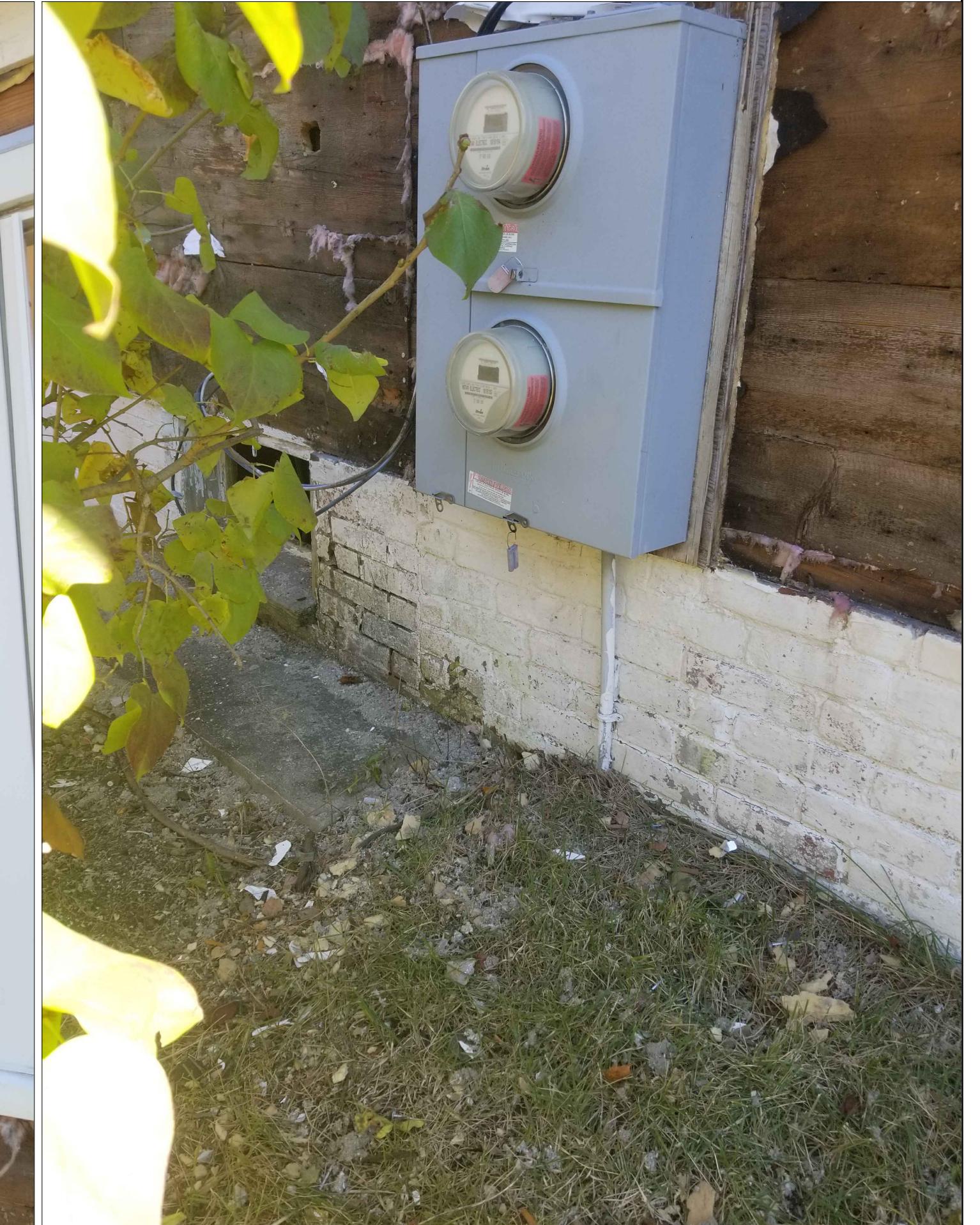
Reviewed By:
JFR

Scale:
1/8" = 1'-0"

Date:
9JAN24

Drawing #:

IMAGES



165 FRANKLIN STREET
ARLINGTON, MA

Project Title: EXISTING CONDITIONS IMAGES
Drawing Title: DECEMBER 5, 2023

Project # 22028

Drawn By: EE Reviewed By: JFR

Scale: 1/8" = 1'-0" Date: 9JAN24

Drawing #:

IMAGES

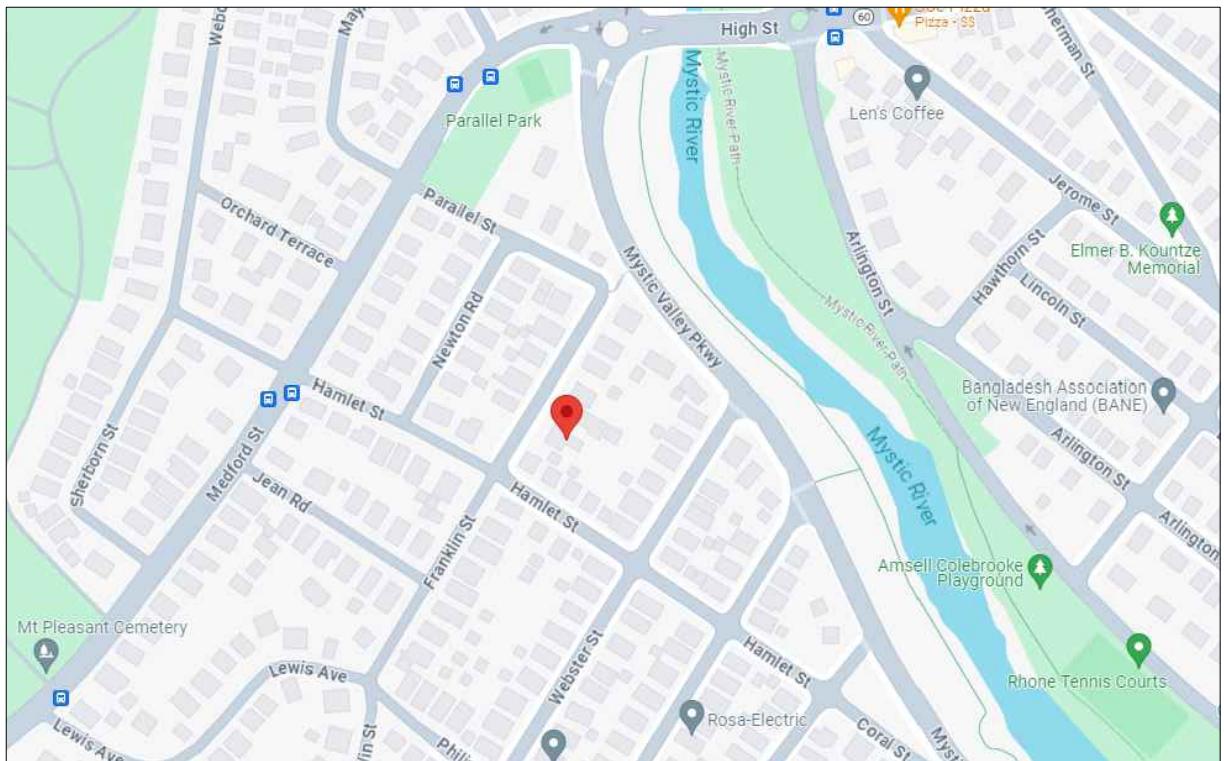


A

B

C

D



PROJECT LOCATION:
165 FRANKLIN ST.
ARLINGTON, MA
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:

LIVE LOADS	30lb.s/SF (BEDROOMS)
	40lb.s/SF (OTHER ROOMS)
GROUND SNOW LOAD	40lb.s/SF
WIND LOAD	127MPH

LIST OF DRAWINGS

	PERMIT SET
ISSUED	NOV. 15, 2021
COVER	●
Z0.1 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 PROPOSED PLANS	●
A1.4 PROPOSED PLANS	●
A1.5 PROPOSED PLANS	●
A1.6 PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED BUILDING DETAILS	●

165 Franklin Street Arlington, MA

Project Title:

PROJECT INFORMATION

Drawing Title:
Revisions: # Description date

Project #: 23057

Scale: 1/8" = 1'-0"

Date: 09JAN24

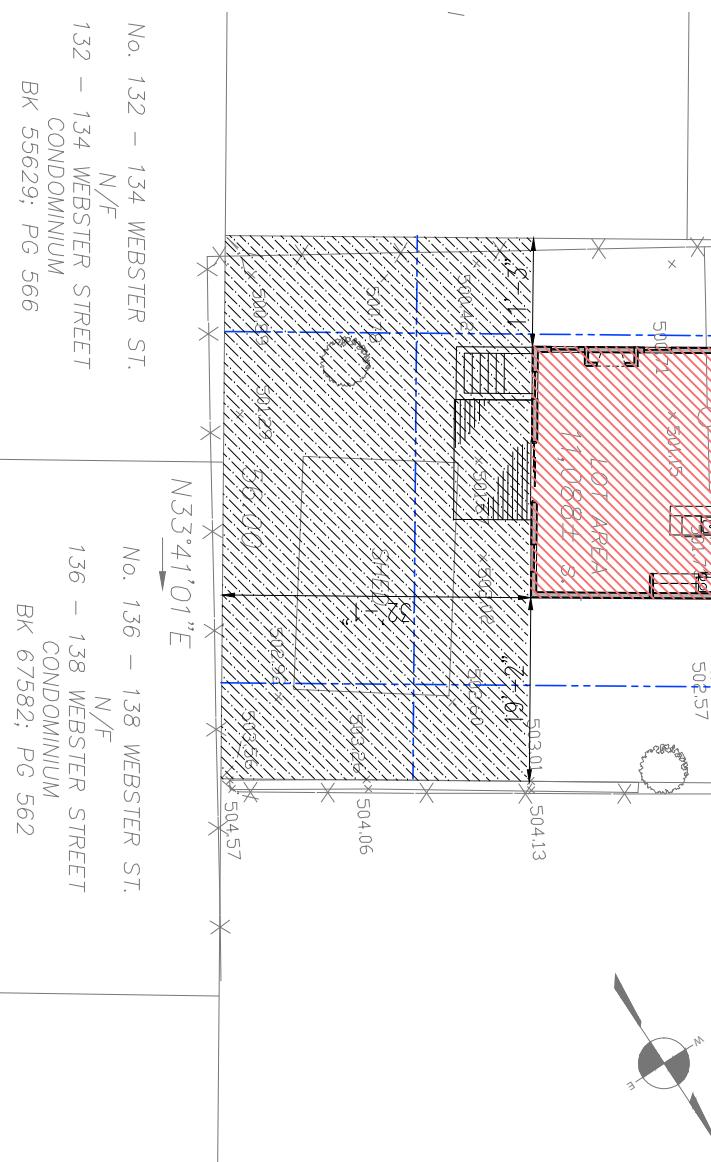
Drawing #: COVER

LR Designs
DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS

6A ALSTON STREET
SUITE 2
CAMBRIDGE, MA 02139
617.882.2133
LREDESIGNS.COM

ZONING DATA PER SEC. 94-171 - GENERAL DIMENSIONAL REGULATIONS

	ZONING DISTRICT - GR- General Residential (Single-Family)	ALLOWED	EXISTING	PROPOSED	COMPLIANCE
A	LOT AREA MIN.	5,000	6,325	NO CHANGE	CONFORMS
B	LOT FRONTAGE MIN. (FT)	35	61.75	NO CHANGE	CONFORMS
C	LOT WIDTH MIN. (FT)	60	61.75	NO CHANGE	CONFORMS
D	LOT DEPTH MIN. (FT)	60	101	NO CHANGE	CONFORMS
E	FRONT YARD MIN. DEPTH (FT)	15	11	ADDITION (15.8)	EXISTING NON-COMFORMING (ADDITION CONFORMS)
F	SIDE YARD MIN. WIDTH - RIGHT	7.5	25.8	18.1	CONFORMS
G	SIDE YARD MIN. WIDTH - LEFT	7.5	21	NO CHANGE	CONFORMS
H	REAR YARD MIN. DEPTH (FT)	15	45.8	NO CHANGE	CONFORMS
I	LOT COVERAGE MAX. % (1,078 / 6,325)	40	12.8	17	CONFORMS
J	BUILDING HEIGHT MAX. (STORIES / FT)	2.5 / 35	23.3	NO CHANGE	CONFORMS



59 of 102

SITE DIAGRAM
1" = 20'- 0"

BASED ON SURVEY BY: GEORGE C. COLLINS
CHARLESTOWN, MA
DATE: 7/23/23

No. 169 – 171 FRANKLIN
N/F
169 – 171 FRANKLIN STR
CONDOMINIUM
BK 46970; PG 502

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503.49

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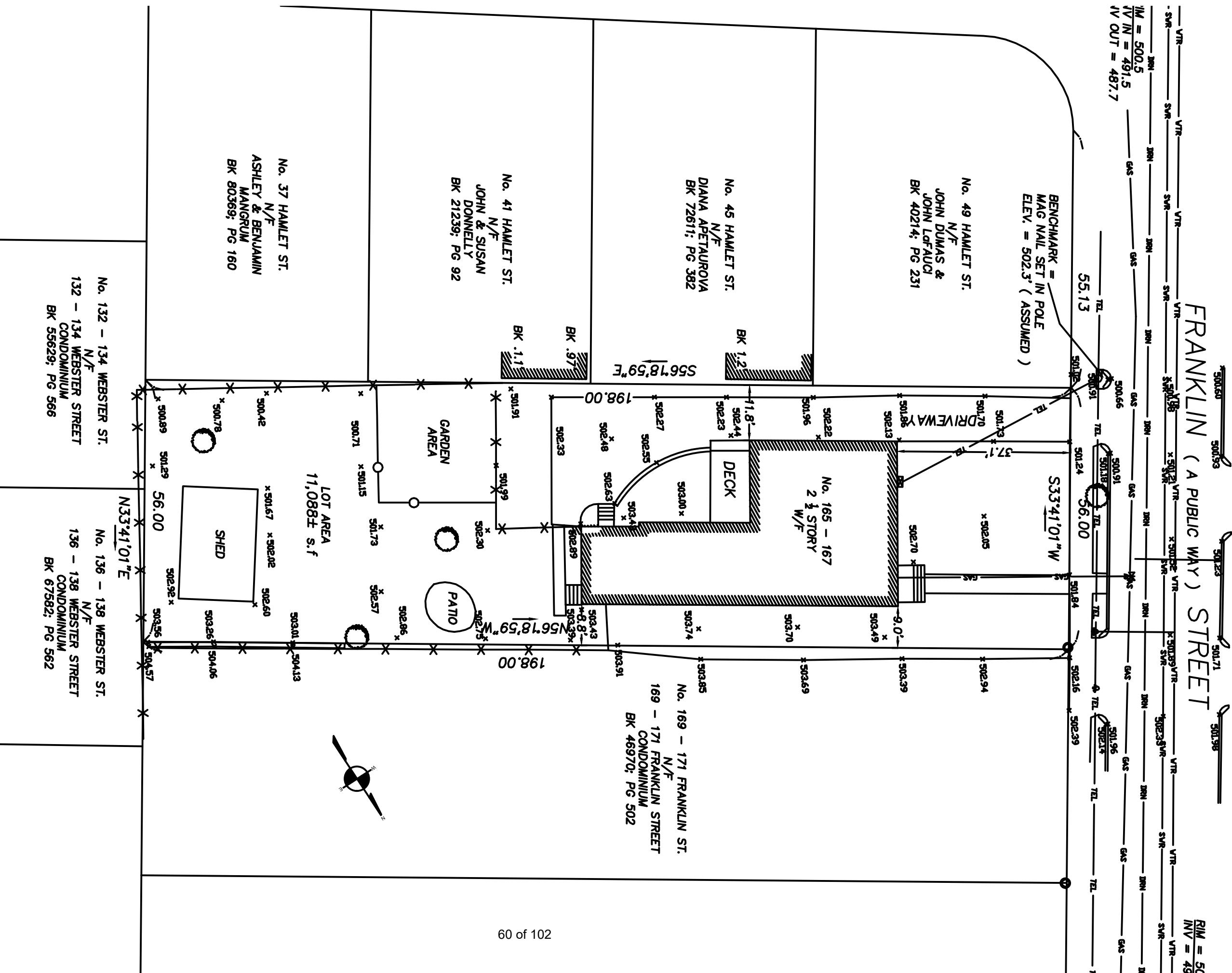
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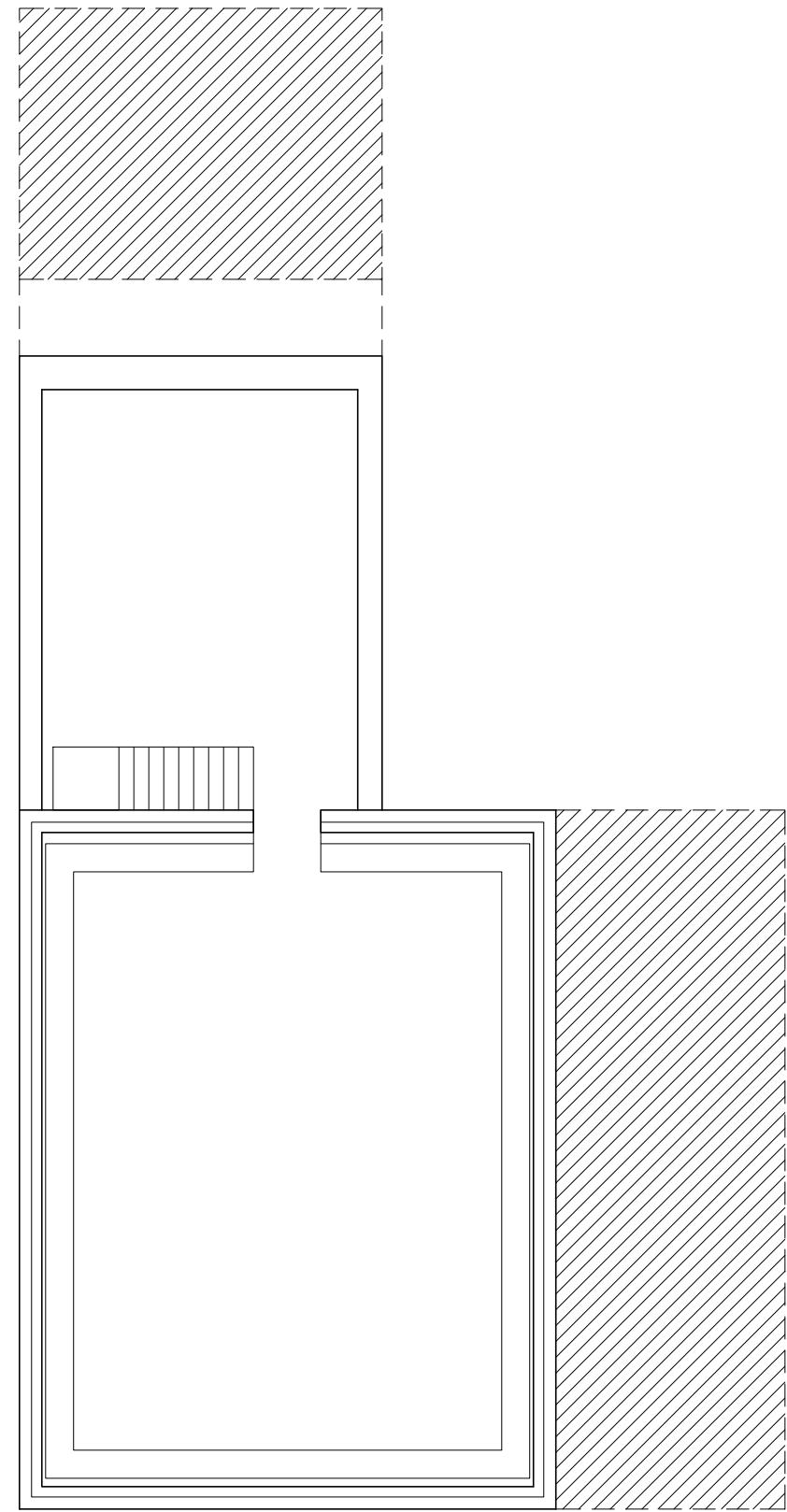


165 Franklin Street
Arlington, MA

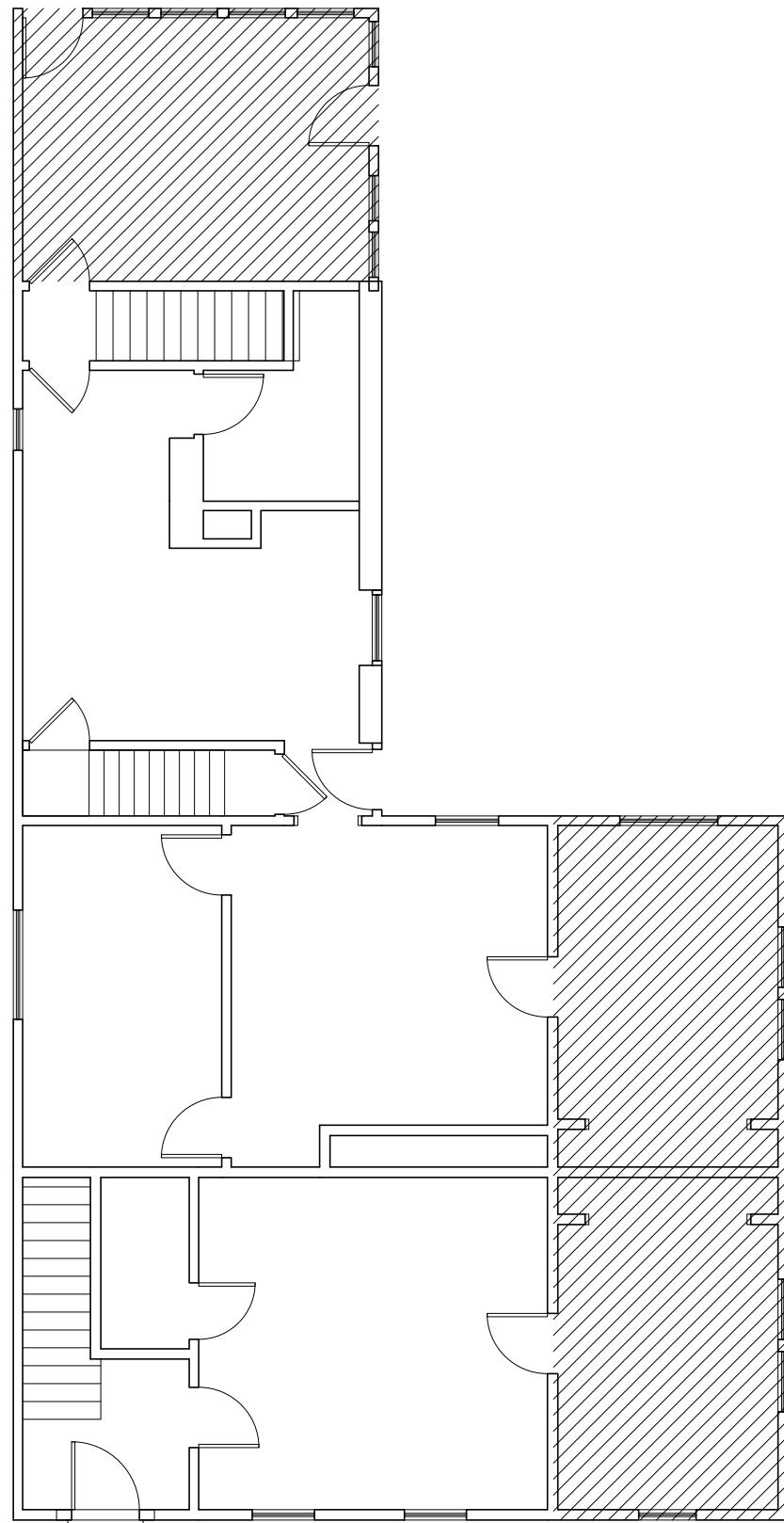
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FLOOR PLANS

Revisions:		
#	Description	Date

Project # 23057
Scale: 1/8" = 1'-0"
Date: 09JAN24
Drawing # EX1.1



BASEMENT PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

**165 Franklin Street
Arlington, MA**

Project Title:

**EXISTING CONDITIONS:
FLOOR PLANS**

Drawing Title:

Rewvisions:
Description date

Project #

23057

Scale:

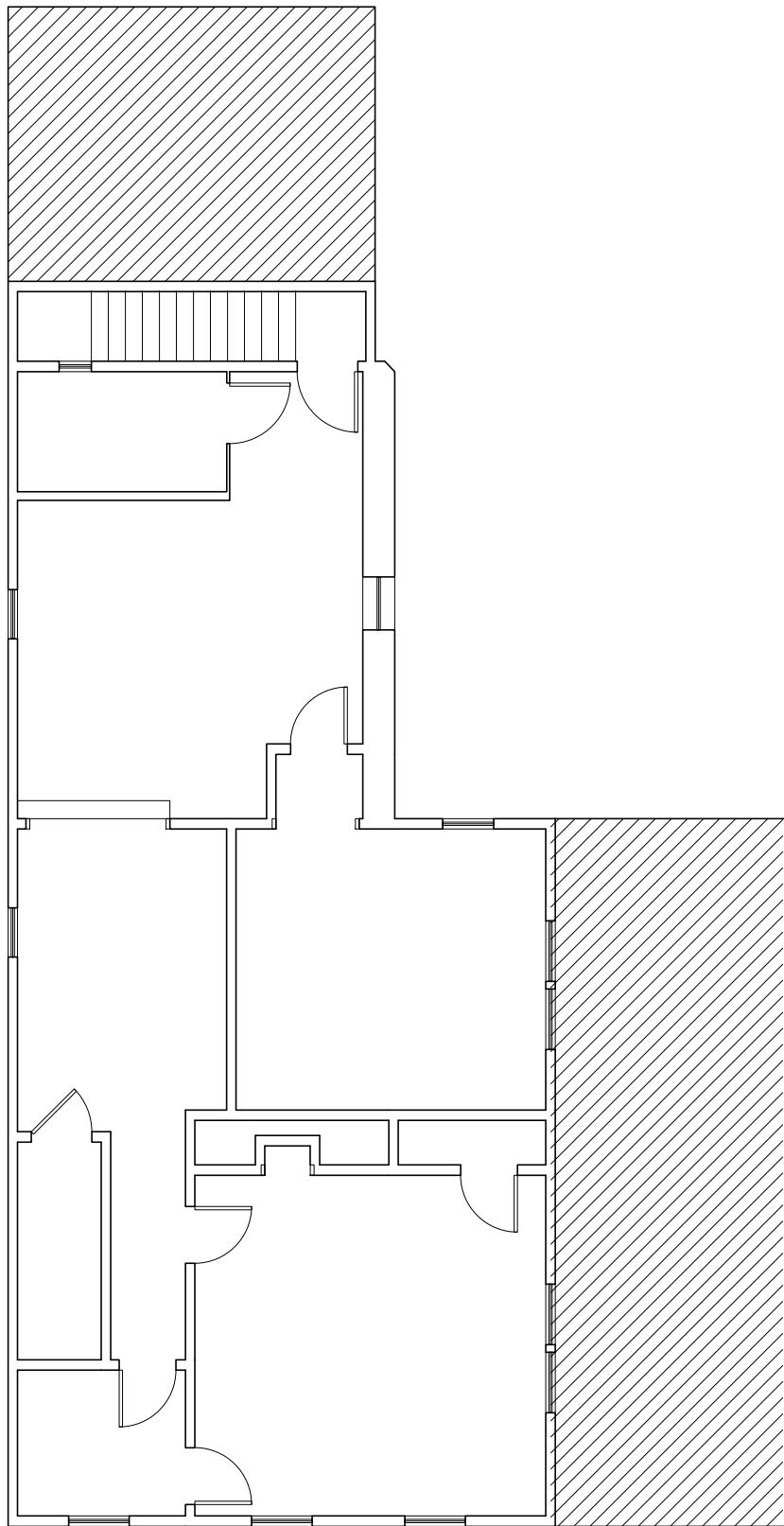
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Date:

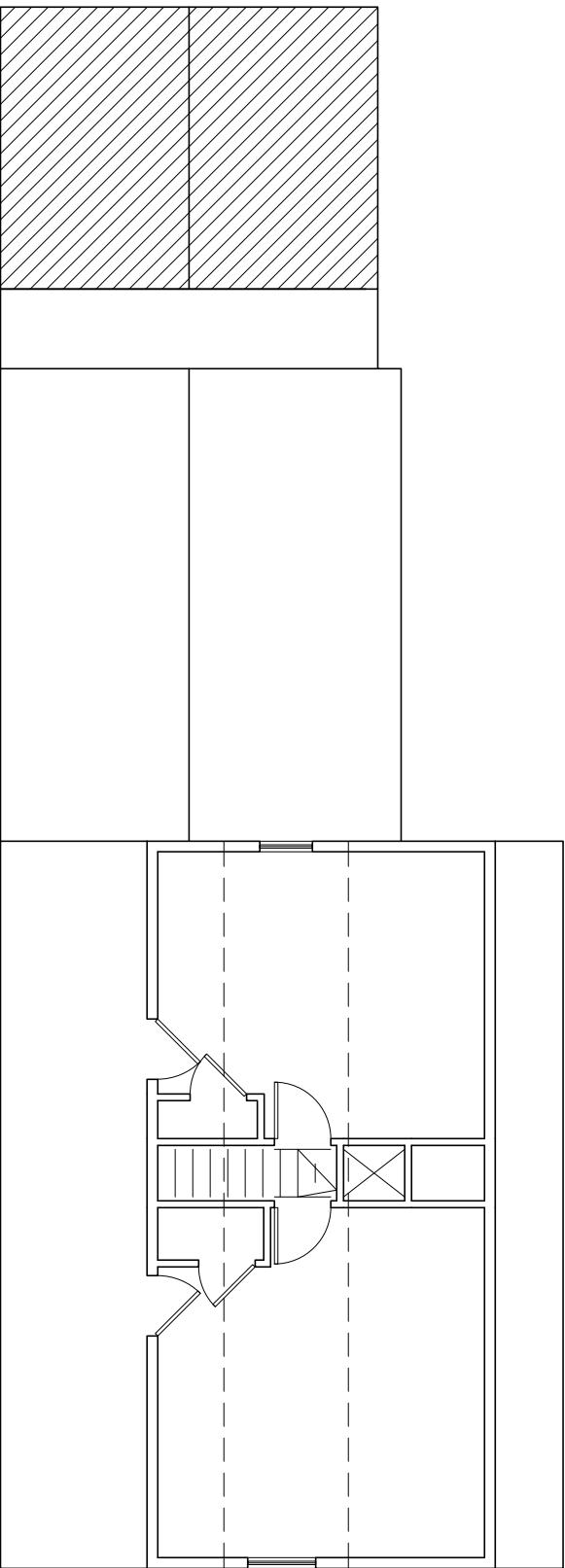
09JAN24

Drawing #

EX1.2



SECOND FLOOR PLAN
1/8" = 1'-0"



ATTIC PLAN
1/8" = 1'-0"

**165 Franklin Street
Arlington, MA**

Project Title:

**EXISTING CONDITIONS:
EXTERIOR ELEVATIONS**

Drawing Title:

Rewvisions:	#	Description	Date
-------------	---	-------------	------

Project #

23057

Scale:

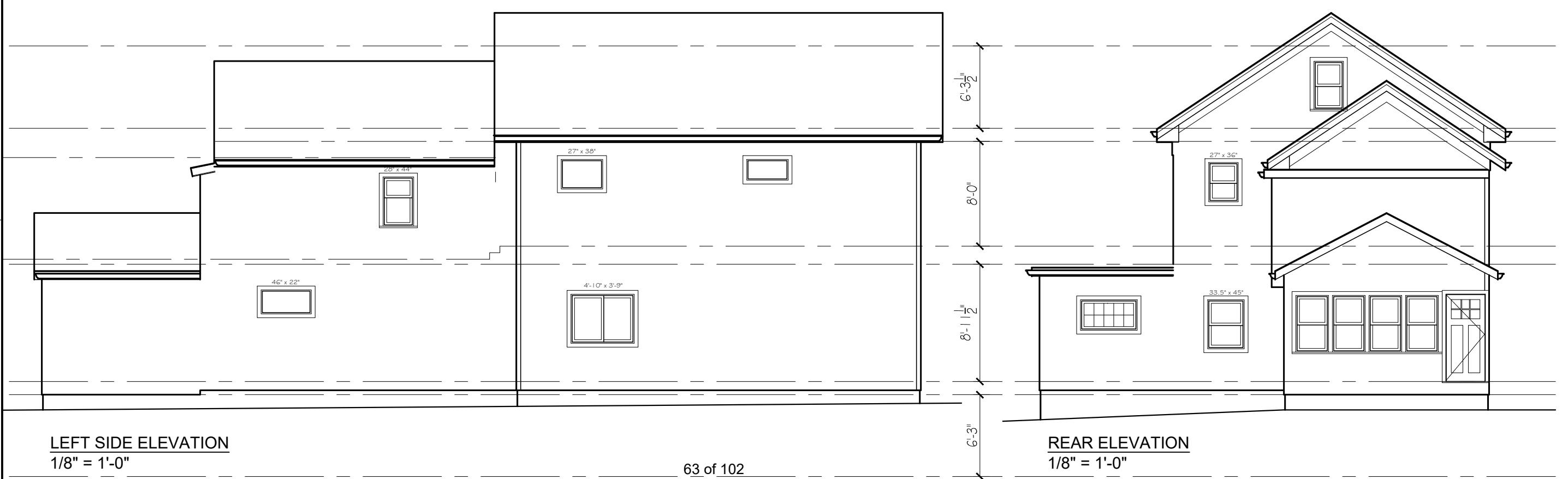
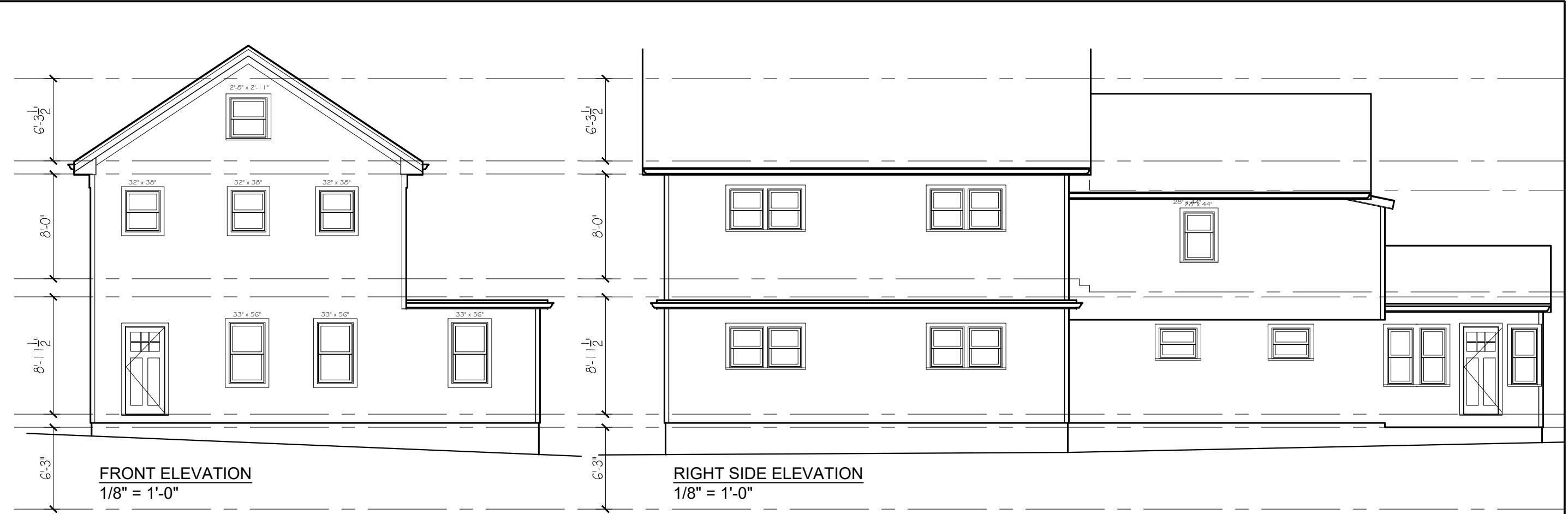
1/8" = 1'-0"

Date:

09JAN24

Drawing #

EX2.1



**165 Franklin Street
Arlington, MA**

Project Title:

**PROPOSED RENOVATIONS:
FLOOR PLANS**

Drawing Title:

Rewisions:
Description date

Project # 23057

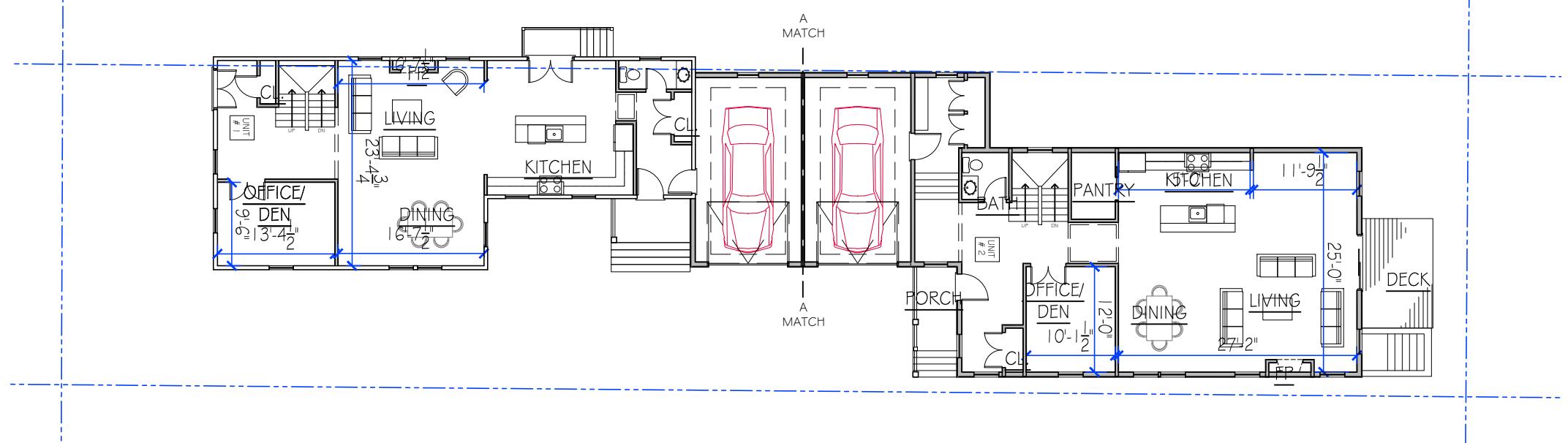
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Date: 09JAN24

Drawing # A1.1

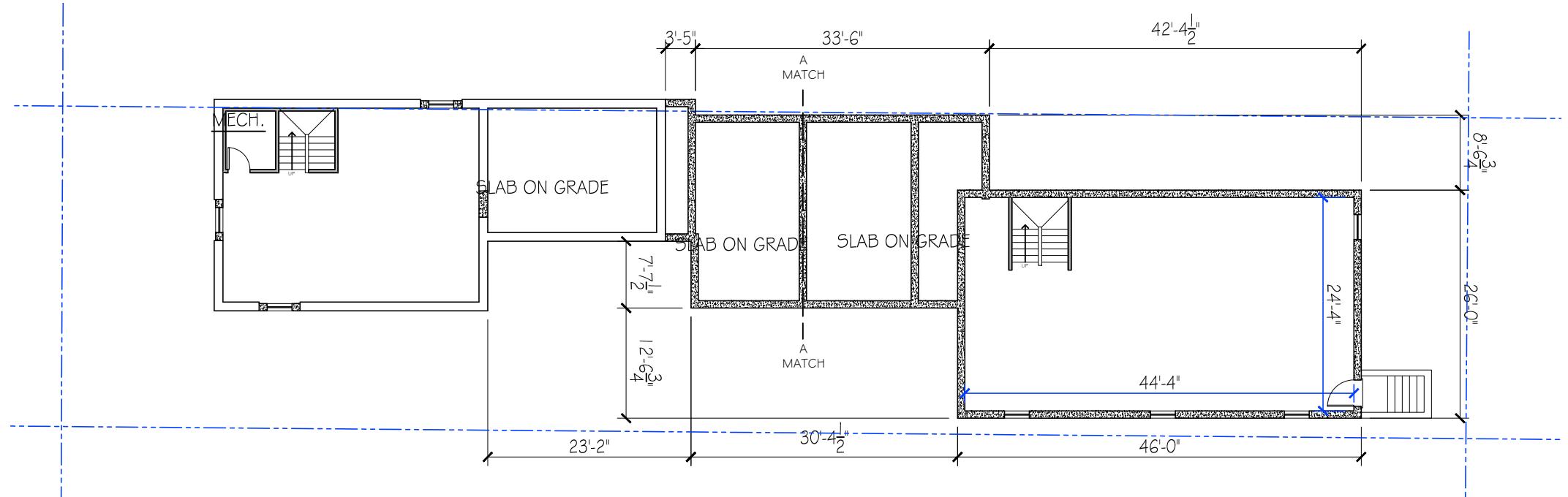
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DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

LEGEND	
—	1 HOUR RATED ASSEMBLY
—	PROPOSED NEW WALL
■	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
(S/C)	SMOKE/CARBON MONOXIDE DETECTOR
(S)	SMOKE DETECTOR
(H/D)	HEAT DETECTOR



FIRST FLOOR PLAN

1/16" = 1'-0"



BASEMENT PLAN

1/16" = 1'-0"

**165 Franklin Street
Arlington, MA**

Project Title:

**PROPOSED RENOVATIONS:
FLOOR PLANS**

Drawing Title:

Rewisions:
Description date

Project #

23057

Scale:

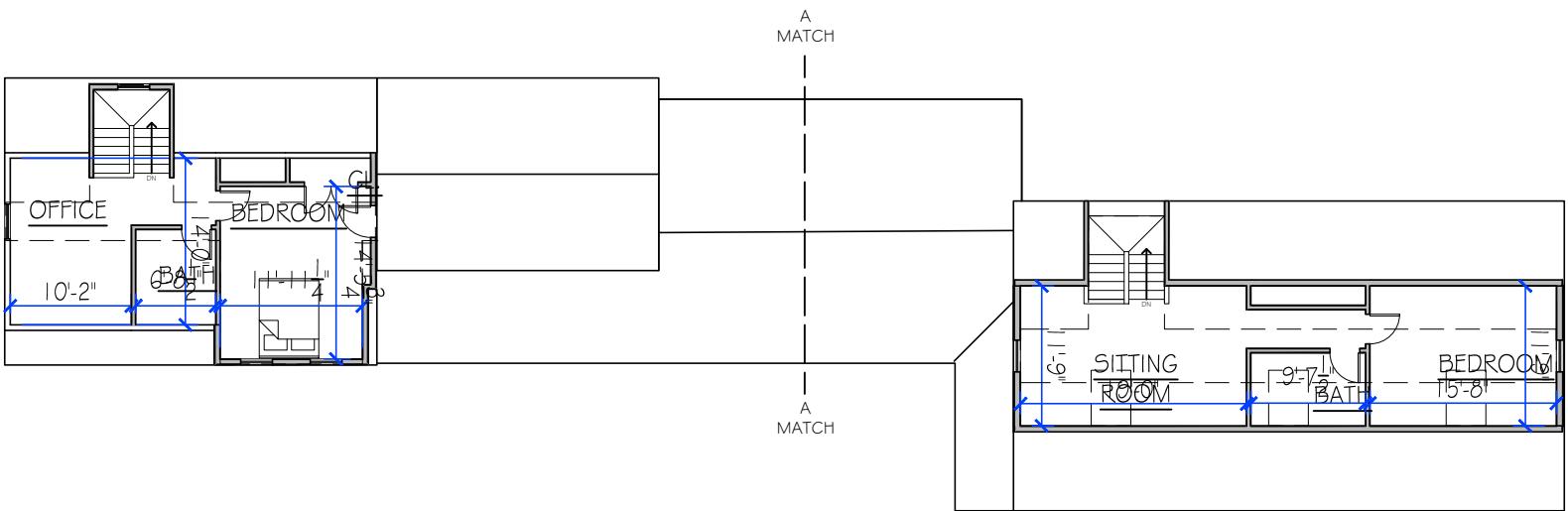
1/8" = 1'-0"

Date:

09JAN24

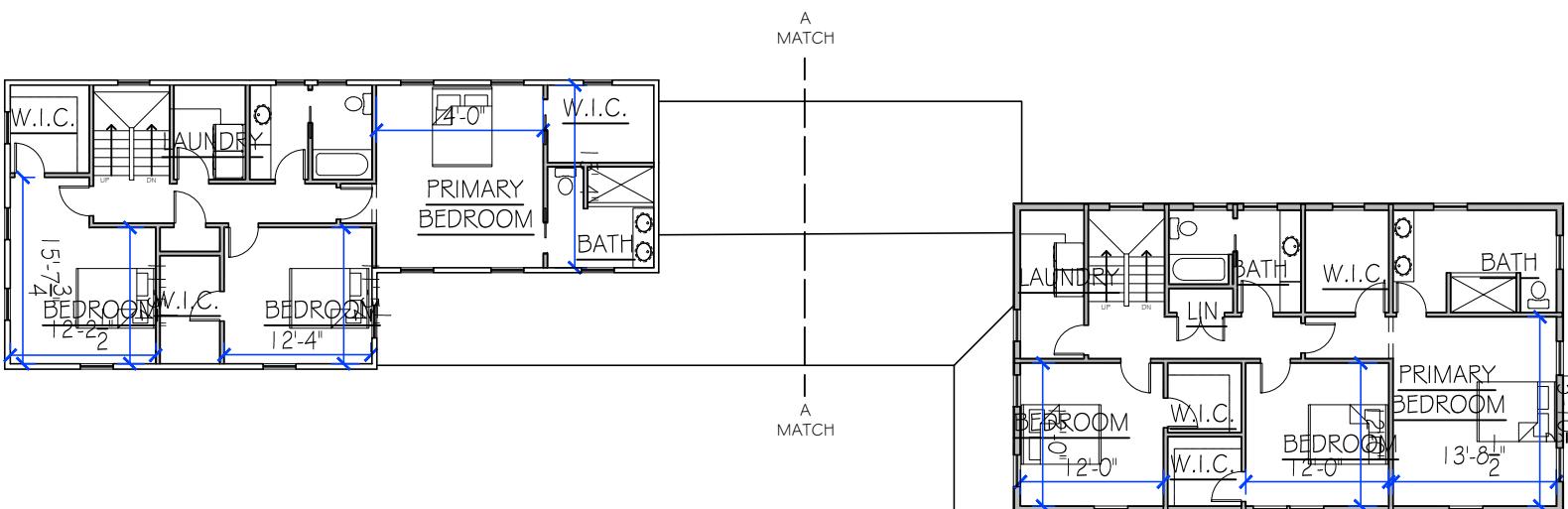
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A1.2



ATTIC PLAN

1/16" = 1'-0"

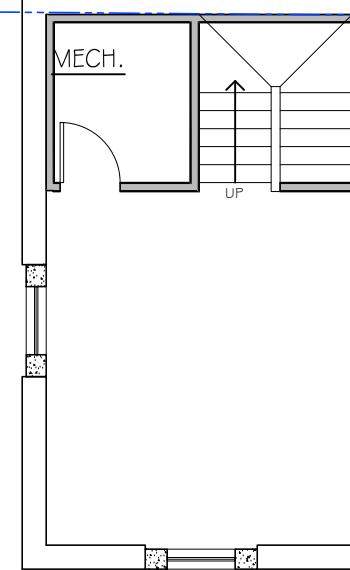


SECOND FLOOR PLAN

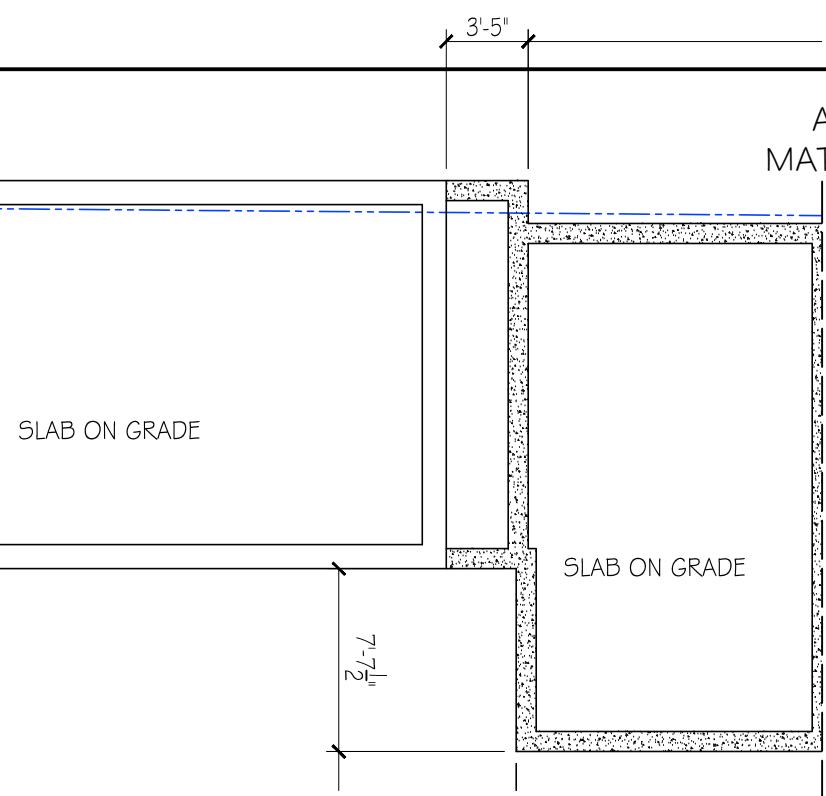
1/16" = 1'-0"

LEGEND		
—	—	1 HOUR RATED ASSEMBLY
—	—	PROPOSED NEW WALL
■	■	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
(S/C)	(S/C)	SMOKE/CARBON MONOXIDE DETECTOR
(S)	(S)	SMOKE DETECTOR
(HD)	(HD)	HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

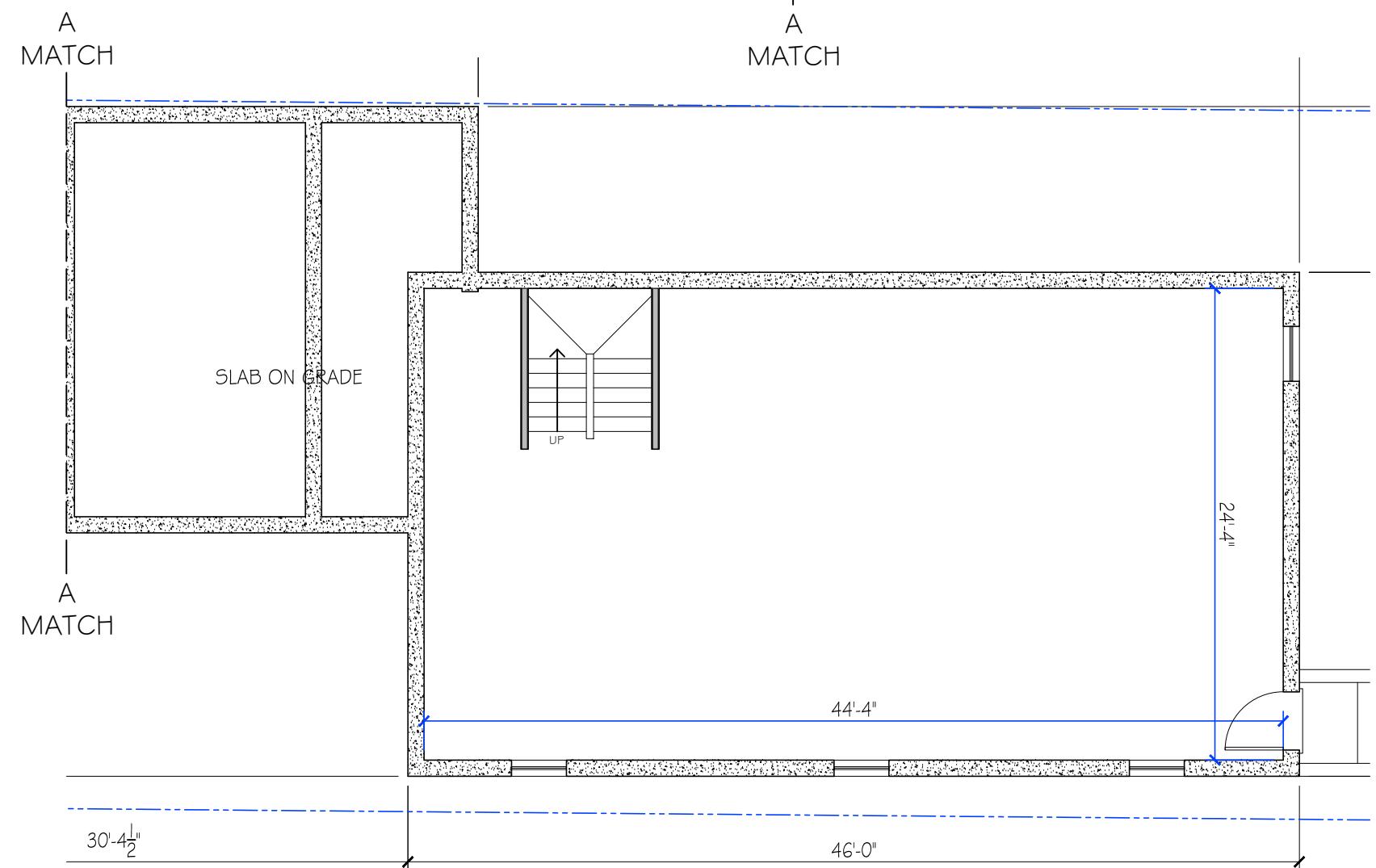


BASEMENT PLAN
1/16" = 1'-0"



A
MATCH

A
MATCH



44'-4"

46'-0"

30'-4 1/2"

LEGEND	
—	1 HOUR RATED ASSEMBLY
██████	PROPOSED NEW WALL
██████	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
SMCO	SMOKE/CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR
HD	HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

LR Designs

DESIGNERS/ARCHITECTS: DEVELOPMENT ADVISORS
6A ALLEGRA STREET
SUITE 2
CAMBRIDGE, MA 02139
LEADERDESIGN.COM

**165 Franklin Street
Arlington, MA**

Project Title:

**PROPOSED RENOVATIONS:
FLOOR PLANS**

Drawing Title:

Rewvisions:
Description date

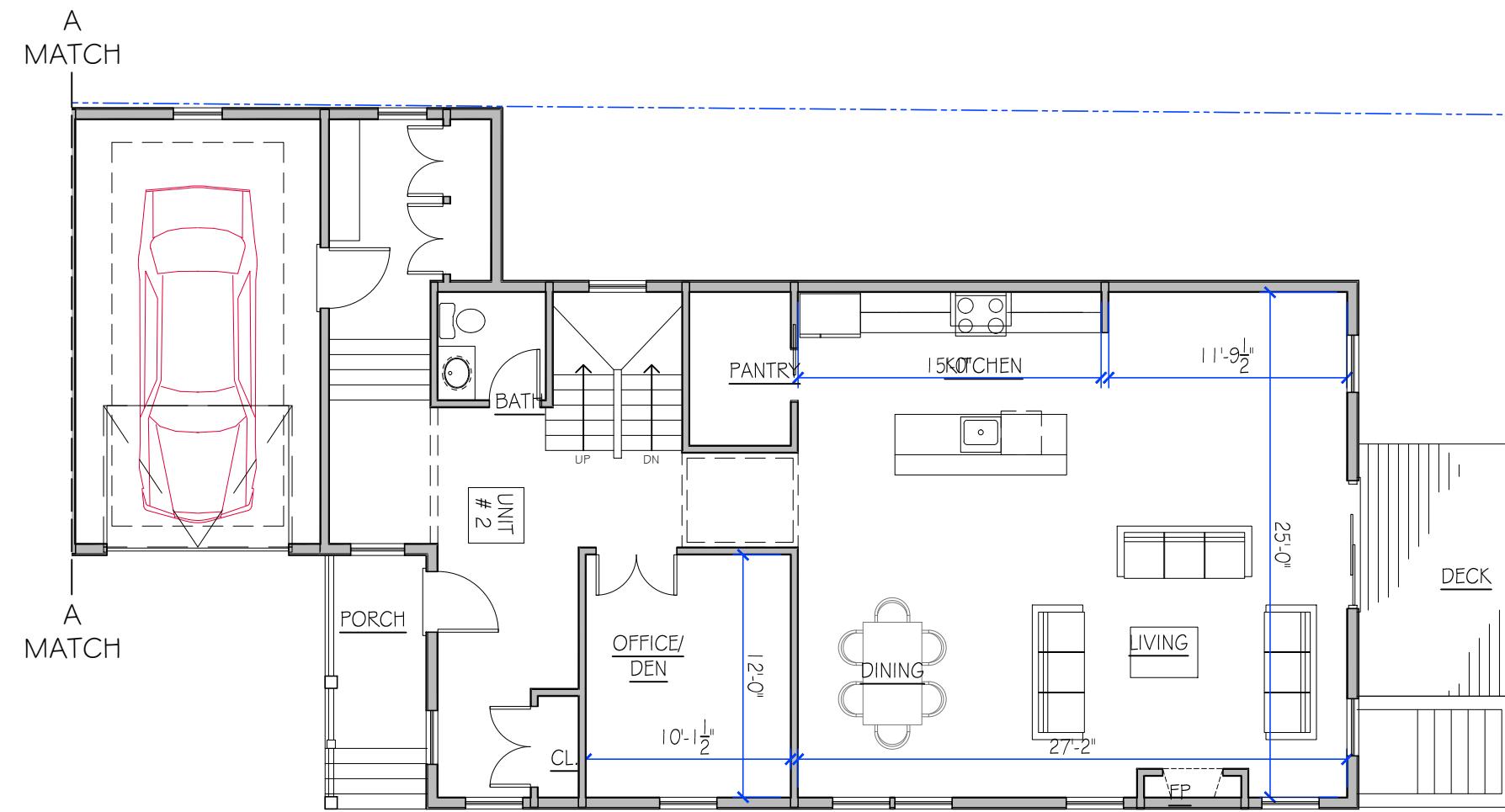
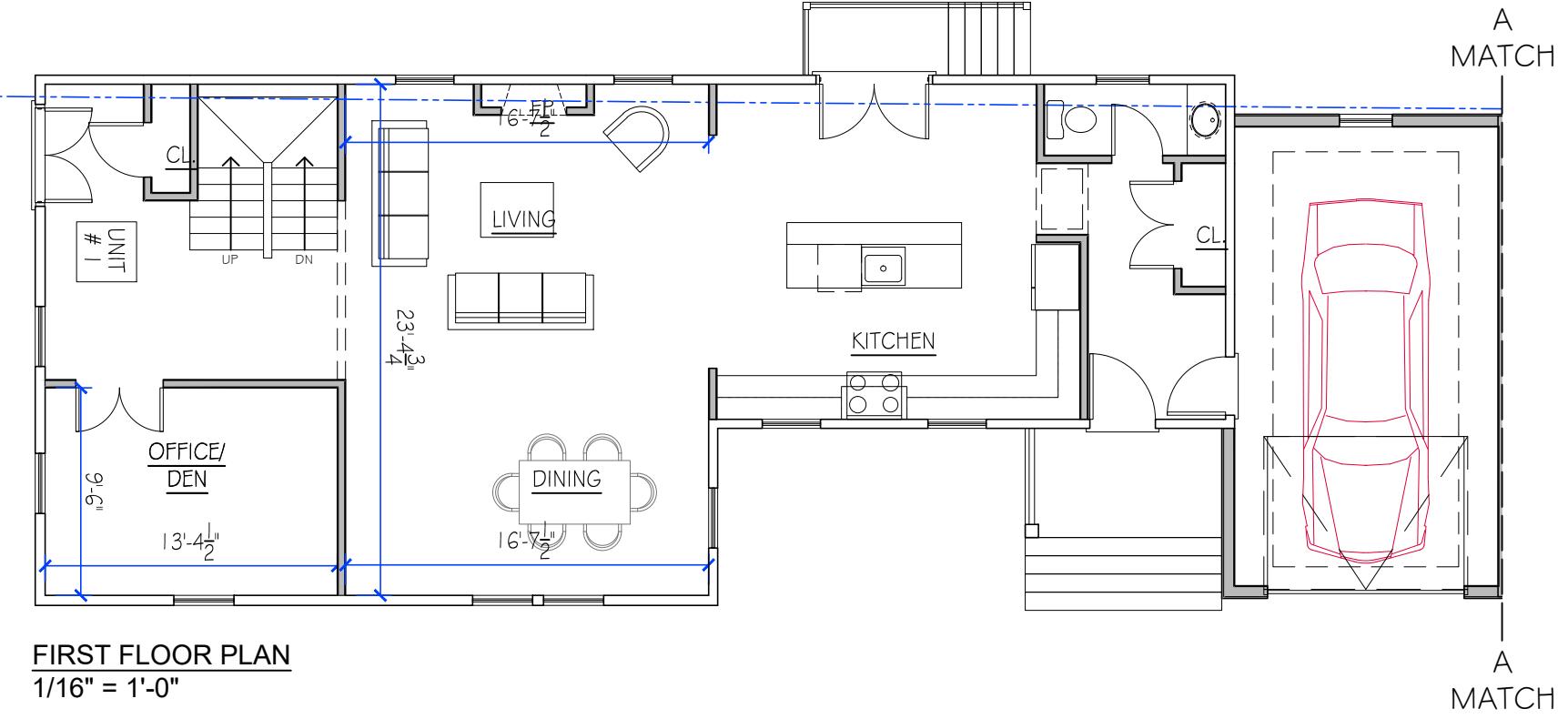
Project #
23057

Scale:
1/8" = 1'-0"

Date:
09JAN24

Drawing #
A1.1

FRANKLIN STREET



LR Designs

165 Franklin Street
Arlington, MA

Project Title:

PROPOSED RENOVATIONS:
FLOOR PLANS

Rewvisions:
Description date

Project #
23057

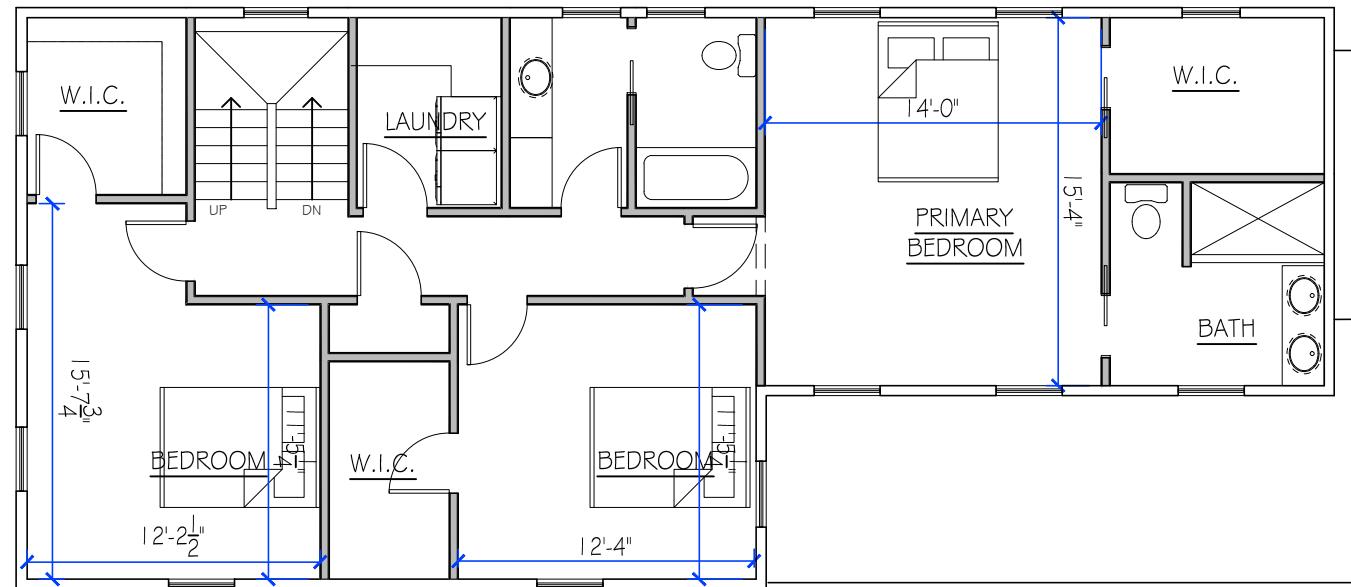
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09JAN24

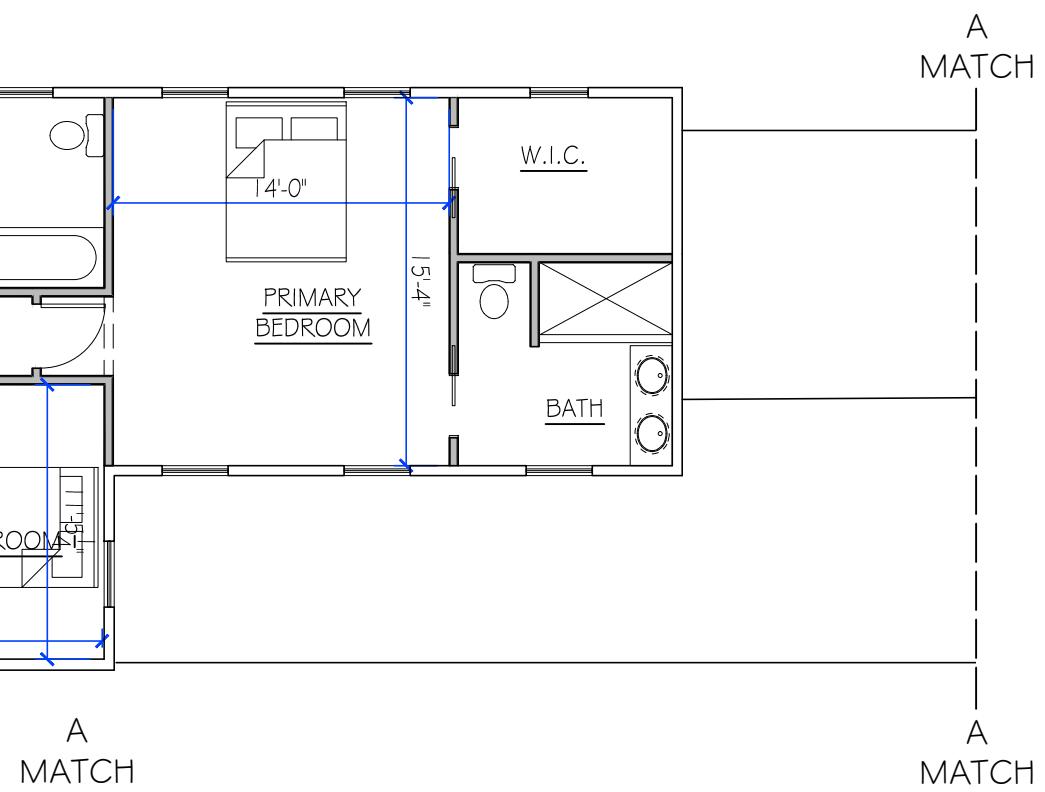
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A1.1

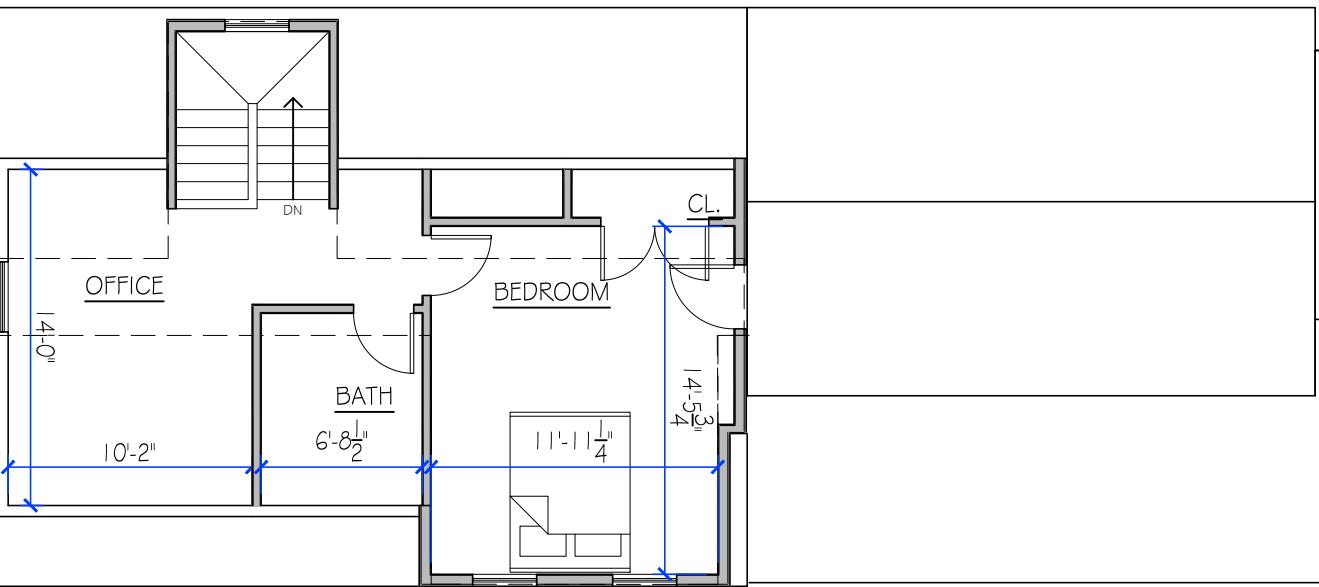
LEGEND	
—	1 HOUR RATED ASSEMBLY
—	PROPOSED NEW WALL
—	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
S/C	SMOKE/CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR
HD	HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

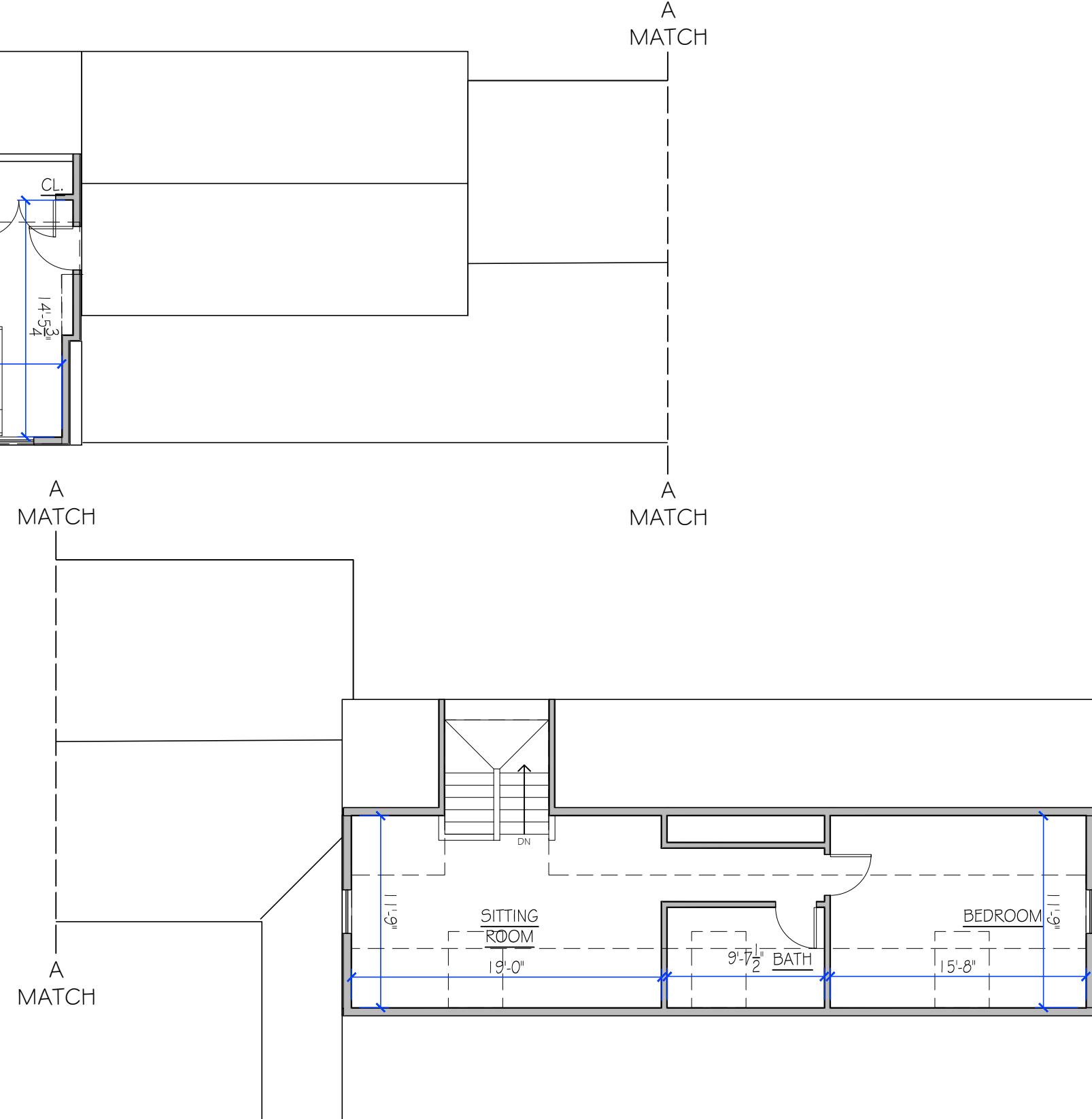


SECOND FLOOR PLAN
1/16" = 1'-0"





ATTIC PLAN
1/16" = 1'-0"



LEGEND	
—	1 HOUR RATED ASSEMBLY
—	PROPOSED NEW WALL
—	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
S/C	SMOKE/CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR
H/D	HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

LR Designs
DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS
6A ALSTON STREET
SUITE 2
CAMBRIDGE, MA 02139
LEEDPENDING.COM

165 Franklin Street
Arlington, MA

Project Title:

PROPOSED RENOVATIONS:
FLOOR PLANS

Drawing Title:

Rewisions:
Description date

Project # 23057

Scale: 1/8" = 1'-0"

Date: 09JAN24

Drawing # A1.1

**165 Franklin Street
Arlington, MA**

Project Title:

**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS**

Drawing Title:

Rewisons:
Description date

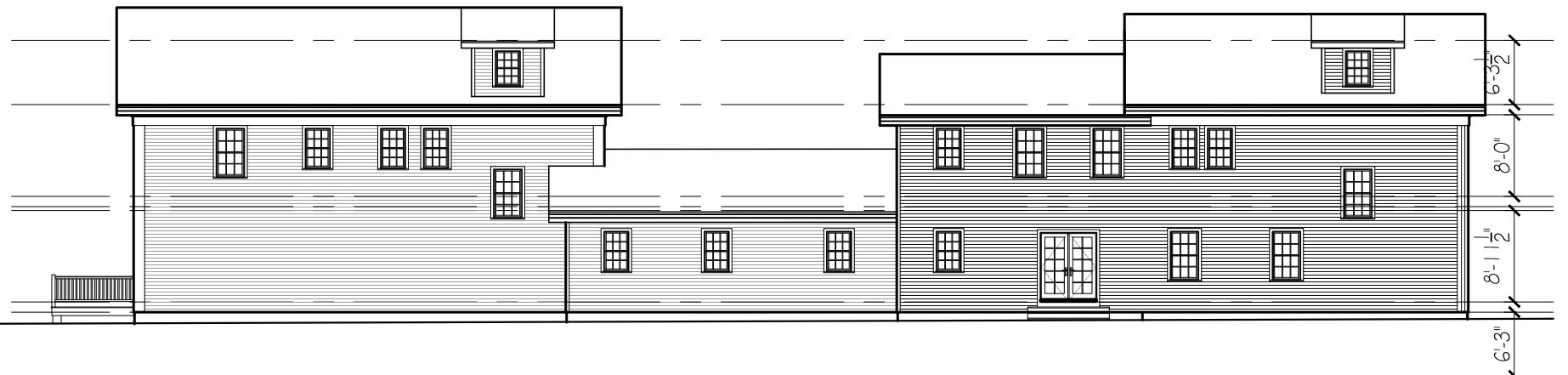
Project # 23057
Scale: 1/8" = 1'-0"
Date: 09JAN24
Drawing # A2.1



FRONT ELEVATION
1/16" = 1'-0"



RIGHT SIDE ELEVATION
1/16" = 1'-0"



LEFT SIDE ELEVATION
1/16" = 1'-0"



REAR ELEVATION
1/16" = 1'-0"

LR Designs

DESIGNERS/ARCHITECTS/DEVELOPMENT ADVISORS

6A ALSTON STREET

BOSTON, MA 02118

617.882.2115

LEEDPENLON.COM

165 Franklin Street Arlington, MA

Project Title:

PROPOSED RENOVATIONS: BUILDING DETAILS

Drawing Title:

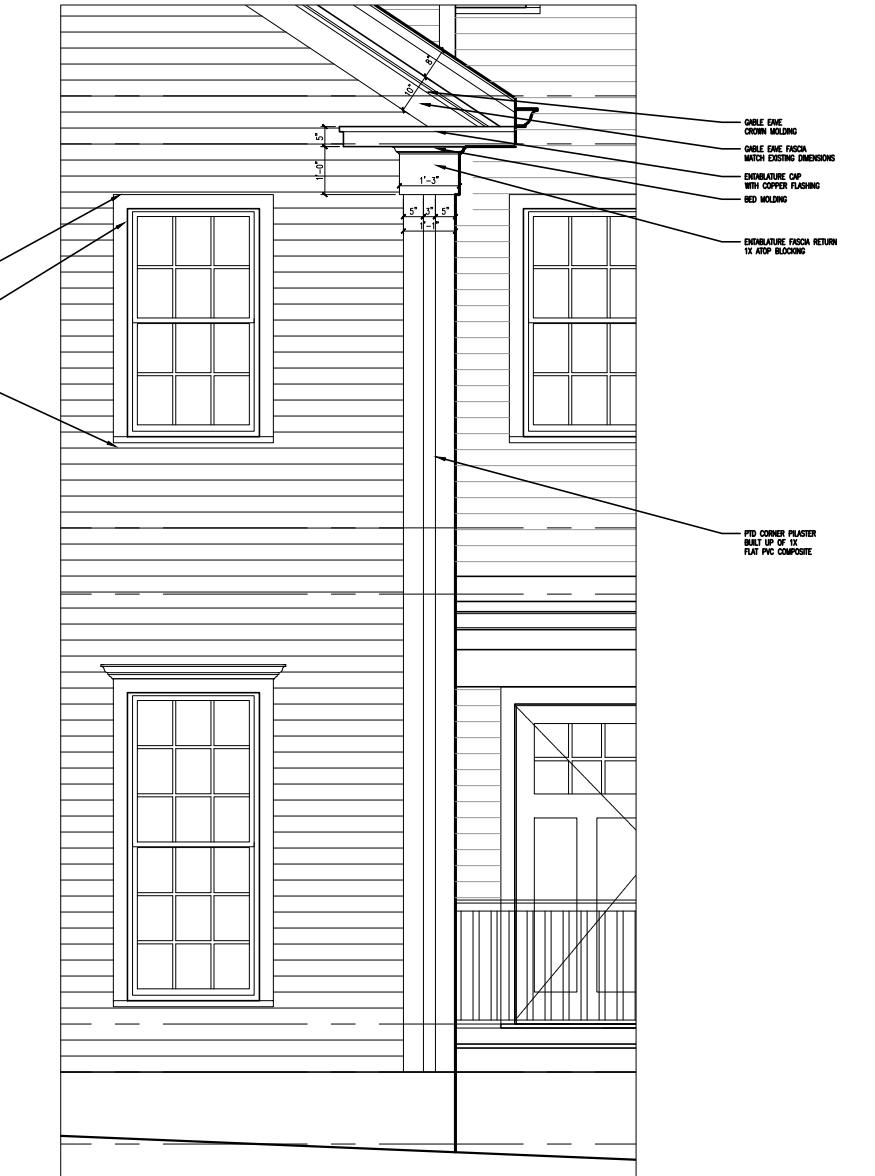
Rewards:
Description date

Project # 23057

Scale: 1/4" = 1'-0"

Date: 09JAN24

Drawing # A3.1



CORNER BOARD DETAILS
1/4" = 1'-0"

WINDOW SCHEDULE							
A		B		C		D	
ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"	
MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3377	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3357	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2947	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2941
WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG	
ROUGH OPENING 2'9 3/4" x 6'-5 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'9 3/4" x 4'-9 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'5 3/4" x 3'-1 1/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'5 3/4" x 3'-5 3/4"	HEADER HEIGHT TBD
REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

NOTES:
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE
THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
PROVIDE TEMPERED GLAZING AT ALL HAZARD
LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED
LOCATIONS.

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 21, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO A ASSUMED DATUM OF 500.0'

BENCHMARK:
MAG NAIL SET IN UTILITY POLE
ELEV. = 502.3' (ASSUMED)

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS

ZONE: X
COMMUNITY PANEL: 25017C0417E
EFFECTIVE DATE: 06-04-2010

GEORGE C. COLLINS, P.L.S.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

SITE PLAN OF LAND

LOCATED AT
165 - 167 FRANKLIN STREET
ARLINGTON, MA

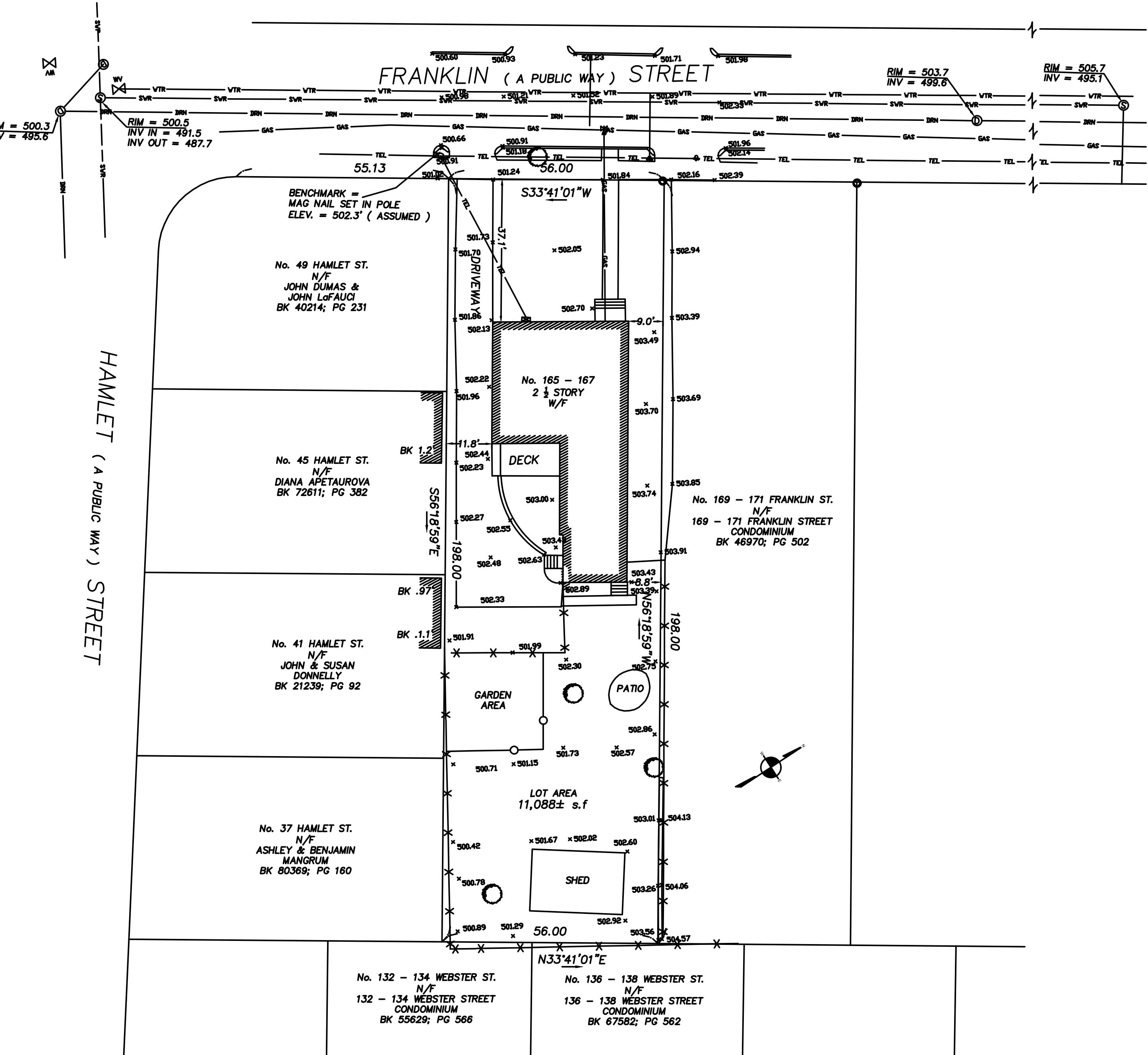
DATE: JULY 23, 2023 SCALE: 1.0 INCH = 20.0 FEET



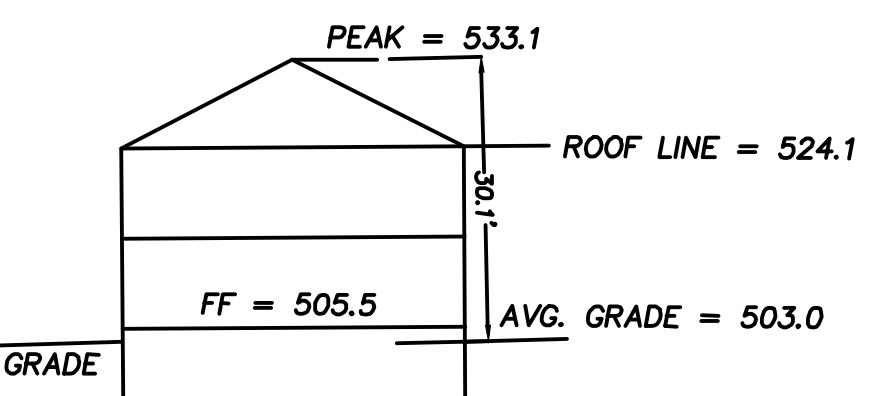
PREPARED FOR:
CARMEN & CRISTIAN CHELARIU
165 FRANKLIN ST.
ARLINGTON, MA

DEED: BK 56731; PG 579
PLAN: BK 1192; PG 181
No. 1324 OF 1929
PL BK 305; PL 19

NOTES:
PARCEL ID:044.0-0001-0013.0
ZONING: R2

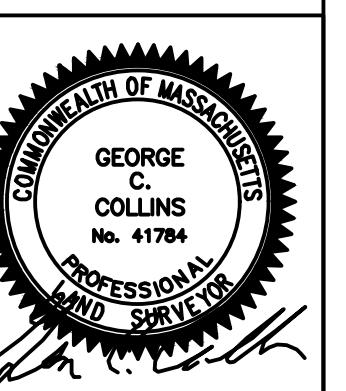


HEIGHT SKETCH:
NOT TO SCALE



ZONING TABLE:	REQUIRED	EXISTING
DISTRICT:	R2	
LOT AREA:	6,000 s.f.	11,088 s.f.
LOT FRONTAGE:	60'	56'
FRONT SETBACK:	20'	37.1'
SIDE SETBACK:	10'	8.8'
REAR SETBACK:	20'	93.5'
LOT COVERAGE:	35%	19%
OPEN SPACE:	30%	35.9%
LANDSCAPE:	10%	10%
MAX. HEIGHT:	35'	30.1'
MAX. STOREYS:	2.5	2.5

FIELD:	JJH
DRAFT:	JJH
CHECK:	GCO
DATE:	07/23/23

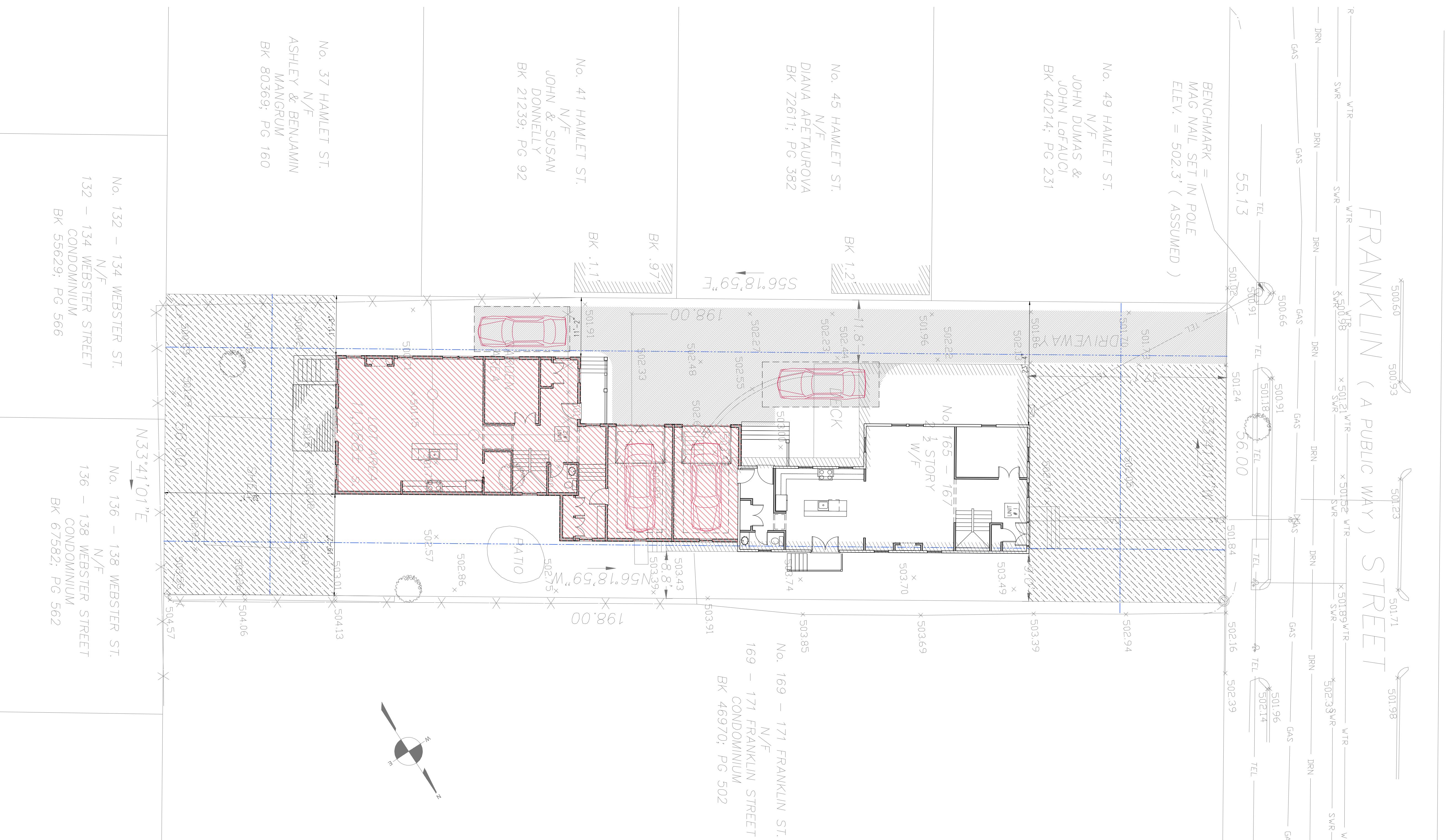


Site Design

165 FRANKLIN STREET, ARLINGTON, MA

Proposed Renovations & Zoning Information

Project #	
22028	
Drawn By:	Reviewed By:
EE	JFR
Scale: 1" = 10'	Date: 9JAN24
Drawing #:	Z0.1



ZONING DATA PER \$6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA				
ZONING DISTRICT - R2	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A MINIMUM LOT SIZE (S.F.)	6,000	±11,088	NO CHANGE	CONFORMS
B MIN. FRONTAGE (FT)	60	56	NO CHANGE	EXISTING NON-CONF.
C FLOOR AREA RATIO MAX. (FAR)	NA	--	--	NA
D LOT COVERAGE MAX. (%) (PROPOSED 3,021 SF / 11,088 SF = 27.2%)	35	19	27.2	CONFORMS
E MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--	NA
F MIN. FRONT YARD (FT)	20	37.1	NO CHANGE	CONFORMS
G MIN. SIDE YARD - RIGHT	10	11.8	11.2	CONFORMS
MIN. SIDE YARD - LEFT	10	8.8	NO CHANGE	EXISTING NON-CONF. (EXISTING STRUCTURE ONLY)
H MIN. REAR YARD (FT)	20	94.5	32.2	CONFORMS
I MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.25	2 1/2 / 32.88	CONFORMS
J OPEN SPACE: MIN. LANDSCAPED AREA (%) (PROPOSED 6,192 SF / 7,668 GSF = 80.75%)	10	250	80	CONFORMS
K OPEN SPACE: MIN. USABLE AREA (%) (PROPOSED 3,468 SF / 7,668 GSF = 45.2%)	30	201	45	CONFORMS
§6.1.4 MIN. NO. OF PARKING SPACES	2	4	4	CONFORMS

USEABLE OPEN SPACE CALCULATION:

$$\text{REQUIRED USEABLE, OPEN SPACE} \quad 7,668 \text{ GSF} \times 0.30 = 2,300 \text{ SF}$$

PROPOSED USEABLE OPEN SPACE: 3,468 SF

2,300 SF REQUIRED < 3,468 SF PROPOSED

HALF-STORY CALCULATION:

PROPOSED GROSS AREA 2ND FLOOR $2,567 \times .49 = 1,257 \text{ GSF}$

TOTAL ALLOWED > 7' = 1,257 GSF

452 GSF PROPOSED < 1,257 GSF ALLOWED

LARGE ADDITION CALCULATION: §5.4.2.B.6

DEMO PROPOSED = 510 GSF

= 4,076 GSF

TOTAL ADDITION 3,566 GSF

BUILDING HEIGHT CALCULATION:

SITE SLOPE: >5%
SITE HIGHEST GRADE 503.91'
SITE LOWEST GRADE 500.71'
 $503.91' - 500.71' = 3.20' / \text{LOT DEPTH } 198' = 0.016$

0.016% > 1.6% SLOPE

AVERAGE FINISHED GRADE OF SITE @ 6' FROM BUILDING (GRADE PLANE): (NOT USED)
 $503.74' + 500.42' = 1,004.16' / 2 = 502.8'$

AVERAGE GRADE @ 503.0' (PER SURVEY)

AVERAGE GRADE @ CURB:
 $502.14' + 500.91' = 1,003.05 / 2 = 501.525$

ELEVATION OF EXISTING RIDGE = 533.1' (PER SURVEY)

HEIGHT OF EXISTING RIDGE CALCULATED
 $533.1' - 501.435' = 31.67'$

PROPOSED RIDGE
 $501.435' + 534.33' = 32.895'$

32.9' < 35' MAX. ALLOWED

GROSS FLOOR AREA CALCULATIONS BY UNIT (GROSS SQ. FT.) - ZONING

	EXIST. AREA (ASSESSORS)	MINUS AREA UNIT 1	MINUS AREA UNIT 2	ADDED AREA UNIT 1	ADDED AREA UNIT 2	TOTAL AREA UNIT 1	TOTAL AREA UNIT 2	ALLOWED HALF STORY (GREATER THAN 7' NOT) ***	TOTAL ADDITION
BASEMENT	1,159	0	0	0	1,196	1,159	1,196	2,355.0	
1ST FLOOR	1,661	510	0	0	1,339	1,151	1,339	2,490.0	
2ND FLOOR	1,183	0	0	0	1,188	1,183	1,188	2,371.0	1161.79
ATTIC (>7' NOT)	99	0	0	90.0	263.0	189.0	263.0	452.0	+++
TOTAL GROSS FLOOR AREA	4102	510	0	90.0	3,986.0	3,682.0	3,986.0	7,668.0	3566.0
GARAGE (ACCESSORY PARKING)						273	275		
TOTAL GROSS AREA						3955.0	4261.0	8,216.0	

Proposed Additions
Drawing Title:

Approved Additions, Planes, Elevation, Sections, Details, Drawings, etc.

Changes in Existing Conditions, Alterations, Additions, Etc.

Conditions of Approval

Other Information

A

B

C

D

1

2

3

4

5

**EXISTING CONDITIONS:
PLANS AND ELEVATIONS**

Drawing Title: Project Title:

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

9JAN24

Drawing #:

EX1.1



BASEMENT PLAN
1/8" = 1'-0"

FIRST FLOOR PLAN
1/8" = 1'-0"

SECOND FLOOR PLAN
1/8" = 1'-0"

ATTIC PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"

RIGHT SIDE ELEVATION
1/8" = 1'-0"

LEFT SIDE ELEVATION
1/8" = 1'-0"

REAR ELEVATION
1/8" = 1'-0"

A

B

C

D

PROPOSED RENOVATIONS: 165 FRANKLIN STREET ARLINGTON, MA

Project Title:

Drawing Title:

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

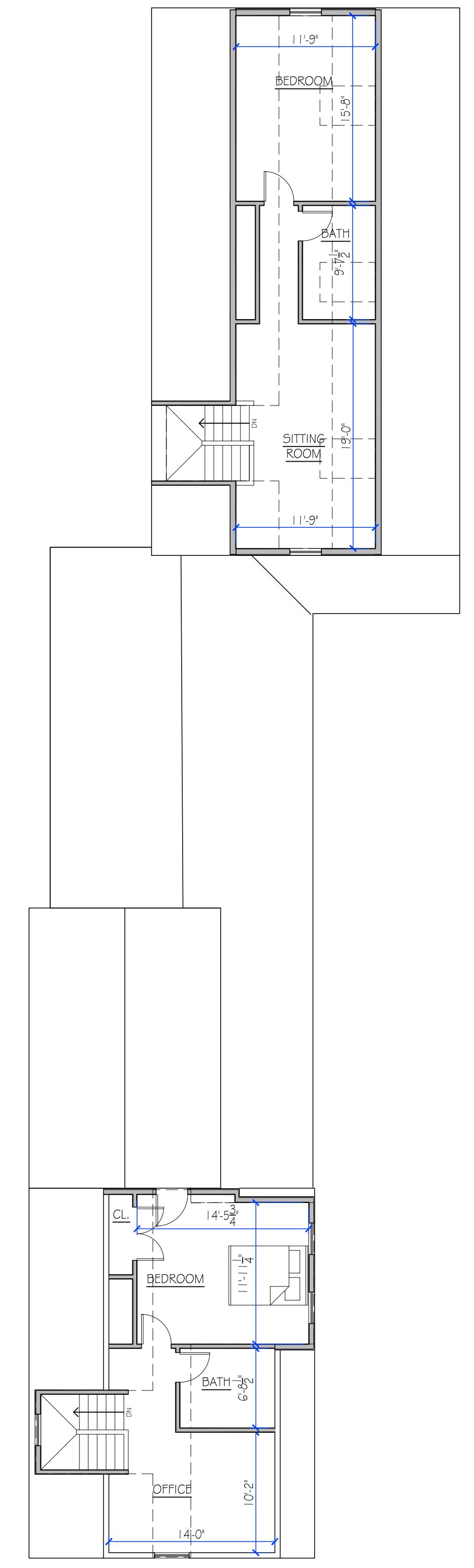
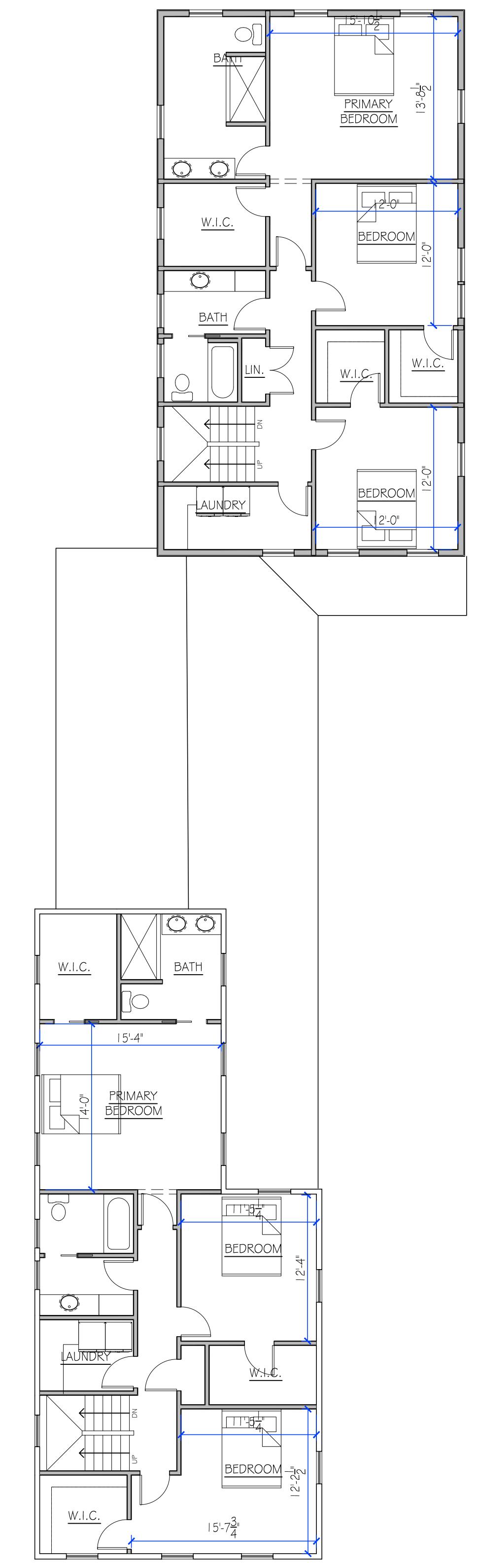
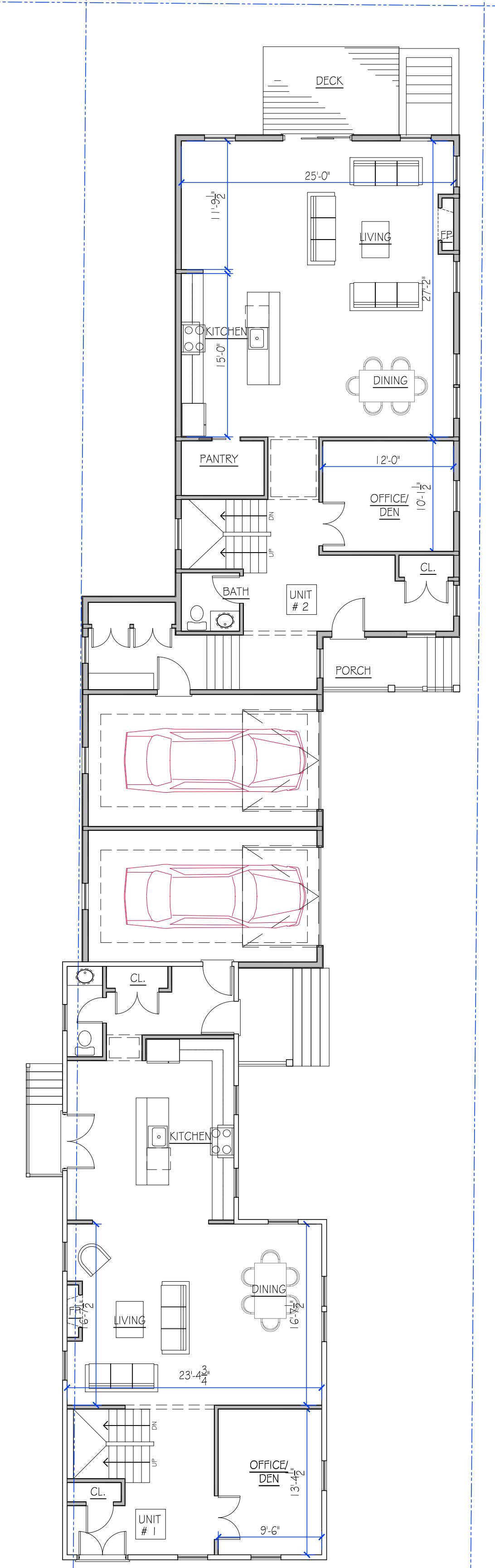
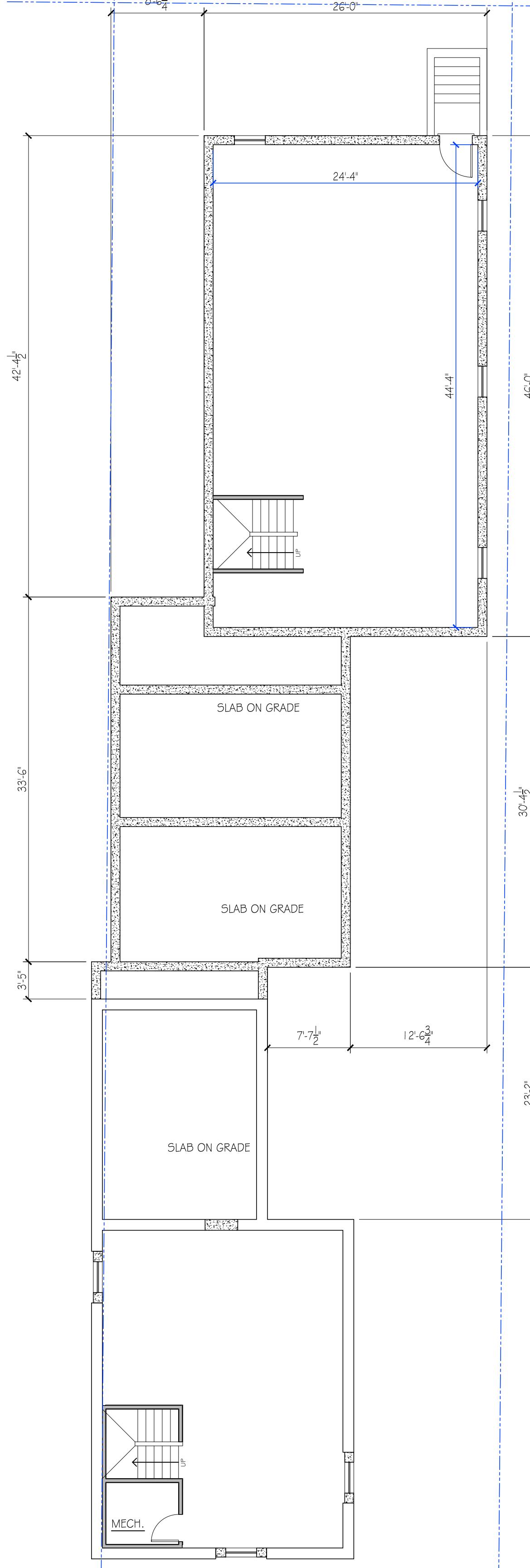
1/8" = 1'-0"

Date:

9JAN24

Drawing #:

SD1.1



A

B

C

D



PROPOSED RENOVATIONS: EXTERIOR ELEVATIONS (EXISTING & PROPOSED)

165 FRANKLIN STREET ARLINGTON, MA

GRANDAL, INC.
617-588-2113
LRDESIGNSINC.COM

**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS**

Project Title: 165 FRANKLIN STREET ARLINGTON, MA

Drawing Title: PROPOSED RENOVATIONS: EXTERIOR ELEVATIONS

Project #:

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

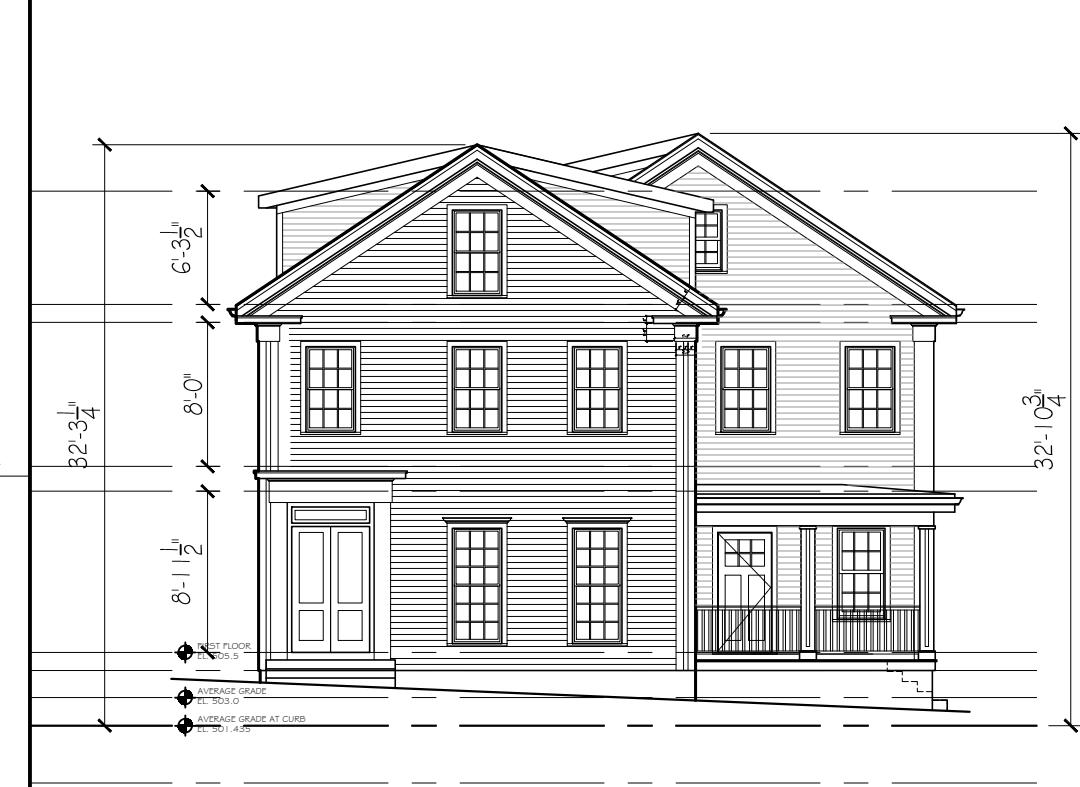
Date:

9JAN24

Drawing #:

SD2.1





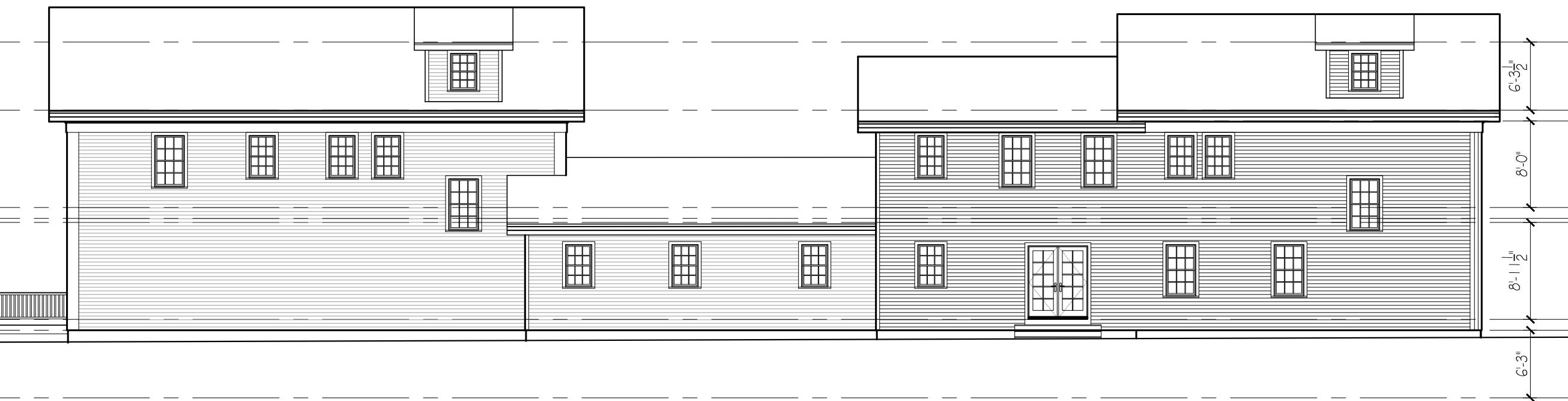
FRONT ELEVATION
3/32 = 1'-0"



RIGHT SIDE ELEVATION
3/32 = 1'-0"



REAR ELEVATION
3/32 = 1'-0"



LEFT SIDE ELEVATION
3/32 = 1'-0"

**165 Franklin Street
Arlington, MA**

Project Title:

**SCHEMATIC DESIGN:
EXTERIOR ELEVATIONS**

Drawing Title:
Revisions:
Description date

Project #
23057

Scale:
3/32" = 1'-0"

Date:
3OCT23

REV 2JAN24

Drawing #
SD2.2

**PROPOSED RENOVATIONS:
EXTERIOR DETAILS**

Project Title:

Drawing Title:

Project #

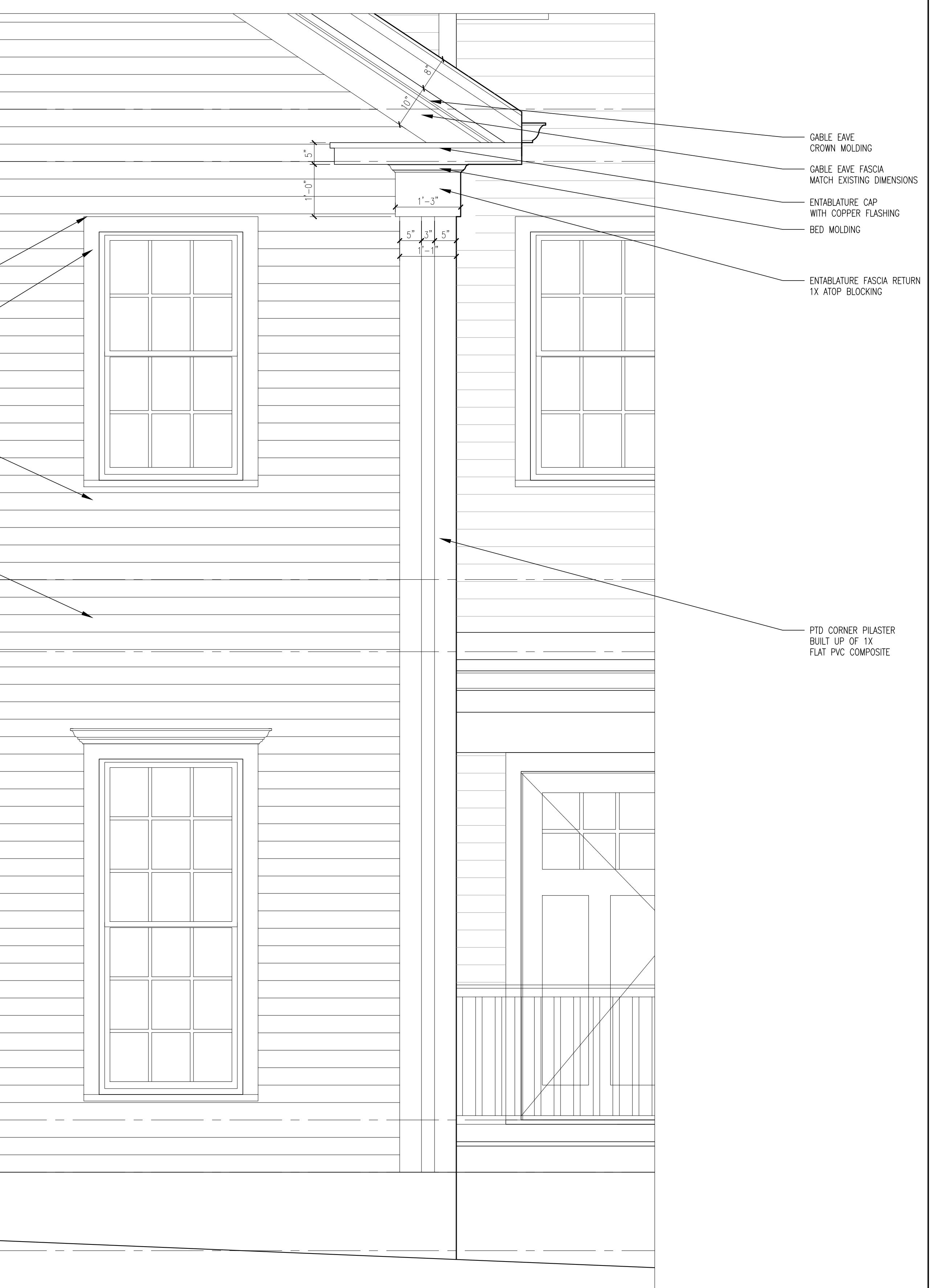
22028

Drawn By: EE Reviewed By: JFR

Scale: 1/8" = 1'-0" Date: 9JAN24

Drawing #:

SD3.1



CORNER BOARD DETAILS
3/4 = 1'-0"

WINDOW SCHEDULE							
(A)		(B)		(C)		(D)	
ELEVATION - 1/4" = 1'-0"	UNIT NUMBER 3377	ELEVATION - 1/4" = 1'-0"	UNIT NUMBER 3357	ELEVATION - 1/4" = 1'-0"	UNIT NUMBER 2947	ELEVATION - 1/4" = 1'-0"	UNIT NUMBER 2941
MANUFACTURER PELLA - LIFESTYLE	HEADER HEIGHT TBD	MANUFACTURER PELLA - LIFESTYLE	HEADER HEIGHT TBD	MANUFACTURER PELLA - LIFESTYLE	HEADER HEIGHT TBD	MANUFACTURER PELLA - LIFESTYLE	HEADER HEIGHT TBD
WINDOW TYPE CLAD DOUBLE-HUNG	ROUGH OPENING 2'-9 3/4" x 6'-5 3/4"	WINDOW TYPE CLAD DOUBLE-HUNG	ROUGH OPENING 2'-9 3/4" x 4'-9 3/4"	WINDOW TYPE CLAD DOUBLE-HUNG	ROUGH OPENING 2'-5 3/4" x 3'-1 1/4"	WINDOW TYPE CLAD DOUBLE-HUNG	ROUGH OPENING 2'-5 3/4" x 3'-5 3/4"
REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

A

NOTES:
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE
THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
PROVIDE TEMPERED GLAZING AT ALL HAZARD
LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED
LOCATIONS.

B

C

D

B Mangrum <benjamin.mangrum@gmail.com>
To:ZBA

Mon 2/12/2024 9:33 PM

Hello,

I am writing to express opposition to the petition for a special permit to alter the property located at 165 Franklin Street. My name is Ben Mangrum, and I live at 37 Hamlet Street, which abuts the property in question.

Please forgive the length of this email, but I believe there are several reasons that the Zoning Board of Appeals should not grant the developer's petition. I outline these reasons as follows:

1. I am aware that bylaw 5.4.2.B.6 states that no alteration above 750 square feet or 50% or more of the building's gross floor area should be permitted unless the alteration is (a) within the existing foundation, or (b) the alteration is in harmony with other structures and uses in the vicinity. The developer's plan obviously does not stay within the existing foundation. Therefore, the only allowable justification for such a large addition would be if the large addition were harmonious with other properties in the area. As a resident in an abutting property, I can attest that the proposed addition would not be harmonious with my property or my neighbors' homes. There is no home in the vicinity that resembles the proposed alteration in size (gross floor area), look, or layout across the property line.
2. The developer's petition claims "the use remains a 2 family residence" and the "character of the structure will be similar to that of detached single family structures in the vicinity." This explanation contradicts the rationale for a large addition while also being misleading in its characterization of the structures in the vicinity.
 1. If the existing structure is already divided into a two-family home, why does the neighborhood need a large addition to allow for a second family to live on the property? Two families can already live at 165-167 Franklin Street in the current size and structure of the property. The only reason for the large addition is the developer's profit, and the Town Bylaws do not allow for profit as an adequate justification for a large addition.
 2. The developer's justification is also misleading because the large addition would not be continuous with prior use. In the "Dimensional and Parking Information" of the developer's petition (p.63 of the Agenda Meeting document), the developer implies that there were 2 dwelling units and the large addition would be consistent with this prior use. However, the previous owner only had one structure divided into a two-family dwelling, so the implication that the large addition is consistent with the prior land use is misleading. This is a second structure for dwelling; no other nearby properties include a second structure of this kind. I plead with the Zoning Board to notice the developer's misleading representation of the addition.
3. Perhaps there is a technicality in which the proposed addition stays within the letter of the bylaws in terms of being a single continuous structure. I am not a lawyer, so I cannot speak to the letter of the law. However, the proposed addition obviously breaks with the *spirit* of the bylaws. Having a second dwelling structure connected by only a garage would be a total rupture from the kinds of structures in the neighborhood. I cannot believe that either the Town as a people or the Bylaws as the expression of our local government envisioned such a proposed alteration as a permissible land use, much less as a justification for a large addition.
4. The proposed addition would also be an aesthetic eye sore. It would mar the historic character of the surrounding homes.
5. I moved to 37 Hamlet Street in July 2022. I moved into my new home with the expectation that my backyard would overlook my neighbor's backyard, as was the case with the previous owner. I have attached pictures that show the current view from my backyard. The developer's plan would ruin this view by erecting a 2 or 2.5 story structure. The negative consequences of this large addition for my property include:

1. My children would be visible from the windows of this second dwelling structure as they play in my yard.
2. I would not be able to see sky and trees as I currently do.
3. Rather than seeing sky and trees, I would look from my window to see a 2 or 2.5-story dwelling that I had no reason to expect the town would allow to be built when I purchased my home a year and a half ago. Permitting this large addition would fundamentally change the way I experience my new home.
6. I also worry that the large addition would create noise, light, and other nuisances that would change the character of the neighborhood. How will the proposed large addition provide light to its driveway and front yard? The light would by necessity shine into the backyards and windows of the abutting properties, particularly those on Hamlet Street. Having a second family live in the backside of the lot at 165 Franklin St would be completely incongruous with the neighborhood and create new, unnecessary conflicts between neighbors. Again, this conflict would mar the character of the neighborhood, but it would be inevitable because of the design of the proposed large addition.
7. Currently, the driveway at 165 Franklin does not extend to my back fence. Allowing the developer to extend the driveway and build a large addition would create noise, carlights, and other disturbances that would betray the land use I had good reason to expect when purchasing the home in 2022. How would the residents of the second home get to their front doors on the backside of the property? They would need to use an extended driveway that would be adjacent to my backyard. If approved, the petition would mean that my backyard would be beset by lights, noise, car traffic, and I would also suffer a substantial loss of privacy.
8. Although the lot is long and narrow, this shape does not mean that square footage of living space should run the length of that property. Property shape is not in itself a license to build. Just as a profit-motive is not listed in the Bylaws as an adequate justification for a large addition, it is also the case that “because there’s space” is not an adequate justification. Allowing the large addition would only benefit the corporate developer, who doesn’t live in the neighborhood.
9. The large addition does not address the need for more housing in Arlington. Because the current structure at 165 Franklin Street already allows for two families, extending the habitable structure (i.e. square feet of living space) by more than double would not allow for *more families* to move to Arlington. It would only allow the developer to make more profit off the sale of the property.
10. The large addition would not bring more affordable housing to Arlington. In fact, the large square footage created would be more *unaffordable* for families of modest income. Preserving the historic character of the current structure on the property is more likely to provide an affordable home for two families.
11. Finally, I would like to reject the implication in the developer’s petition that this large addition might benefit the abutting properties. How? It will not increase our property values, because the resale of our homes will be marred by the view of a 2 or 2.5 story second structure from our backyard. Again, the proposed large addition only benefits the developer, who does not have the right (according to Town Bylaws) to make such a large addition unless it is harmonious with the vicinity. And as I have shown in the points above, the large addition is not harmonious with the neighborhood.

Thank you for considering these points. Kind regards,

Ben Mangrum







A Google Map showing the area around 100 Franklin Street, New London, CT. The map highlights the Mystic River flowing through the city, with the Mystic River Path running along its banks. Key streets labeled include High St, Webster St, Franklin St, Lewis Ave, Hamlet St, Newton Rd, Parallel St, Orchard Terrace, Webb St, May St, Sherborn St, Medford St, Jean Rd, and Lincoln St. A red dot marks the proposed site at 100 Franklin Street. Other landmarks shown include Parallel Park, Len's Coffee, Elmer B. Kountze Memorial, Bangladesh Association of New England (BANE), Amsell Colebrooke Playground, Phone Tennis Courts, Rosa-Electric, and the It Pleasant Cemetery.

PROJECT LOCATION:
**165 FRANKLIN ST
ARLINGTON, MA**
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:	
LIVE LOADS	30lb.s/SF (BEDROOMS) 40lb.s/SF (OTHER ROOMS)
GROUND SNOW LOAD	40lb.s/SF
WIND LOAD	127MPH

LIST OF DRAWINGS	
	PERMIT SET
ISSUED	MAR. 6, 2024
COVER	●
Z0.1 ZONING INFORMATION	●
Z0.2 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 PROPOSED PLANS	●
A1.4 PROPOSED PLANS	●
A1.5 PROPOSED PLANS	●
A1.6 PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED BUILDING DETAILS	●

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR 2021 IECC)

Building Envelope- Climate Zone 5	R402.1.3
Group R	
	Roofs
Attic and other	R-60
	Walls, Above Grade
VWood framed & other	R-20+5
	Walls, Below Grade
Crawlspacew Walls	R-15/19
Basement Walls	R-15/19
	Floors
Oist/Framing	R-30
	Slab Floors
Unheated slabs	R-10 for 48 in.
	Glazed Fenestration
Enestration U- Factor	U-0.30
Skylights	U-0.55
Glazed	U-0.40

165 Franklin Street
Arlington, MA

PROJECT INFORMATION

revisions:
Description date

Object #

ale:

178 - 1 -0

07MAR24

Drawing #

ZONING DATA PER SEC. 94-171 - GENERAL DIMENSIONAL REGULATIONS

	ZONING DISTRICT - GR- General Residential (Single-Family)	ALLOWED	EXISTING	PREVIOUS PROPOSED	CURRENT PROPOSED	COMPLIANCE
A	LOT AREA MIN.	5,000	11,310	NO CHANGE	NO CHANGE	CONFORMS
B	LOT FRONTAGE MIN. (FT)	35	56	NO CHANGE	NO CHANGE	CONFORMS
C	LOT WIDTH MIN. (FT)	60	56	NO CHANGE	NO CHANGE	CONFORMS
D	LOT DEPTH MIN. (FT)	60	198	NO CHANGE	NO CHANGE	CONFORMS
E	FRONT YARD MIN. DEPTH (FT)	15	37.1	NO CHANGE	NO CHANGE	CONFORMS
F	SIDE YARD MIN. WIDTH - RIGHT	7.5	11'- 8"	11'- 3"	17'-9 3/4"	CONFORMS
G	SIDE YARD MIN. WIDTH - LEFT	7.5	8'-6 3/4"	NO CHANGE	NO CHANGE	CONFORMS
H	REAR YARD MIN. DEPTH (FT)	15	108'-1 1/4"	32'-1"	46'-1"	CONFORMS
I	LOT COVERAGE MAX. %	35	1769/ 11310 16%	3046/ 11310 27%	2599/ 11310 23%	CONFORMS
J	BUILDING HEIGHT MAX. (STORIES / FT)	2.5 / 35	29'-10 1/2"	NO CHANGE	NO CHANGE	CONFORMS

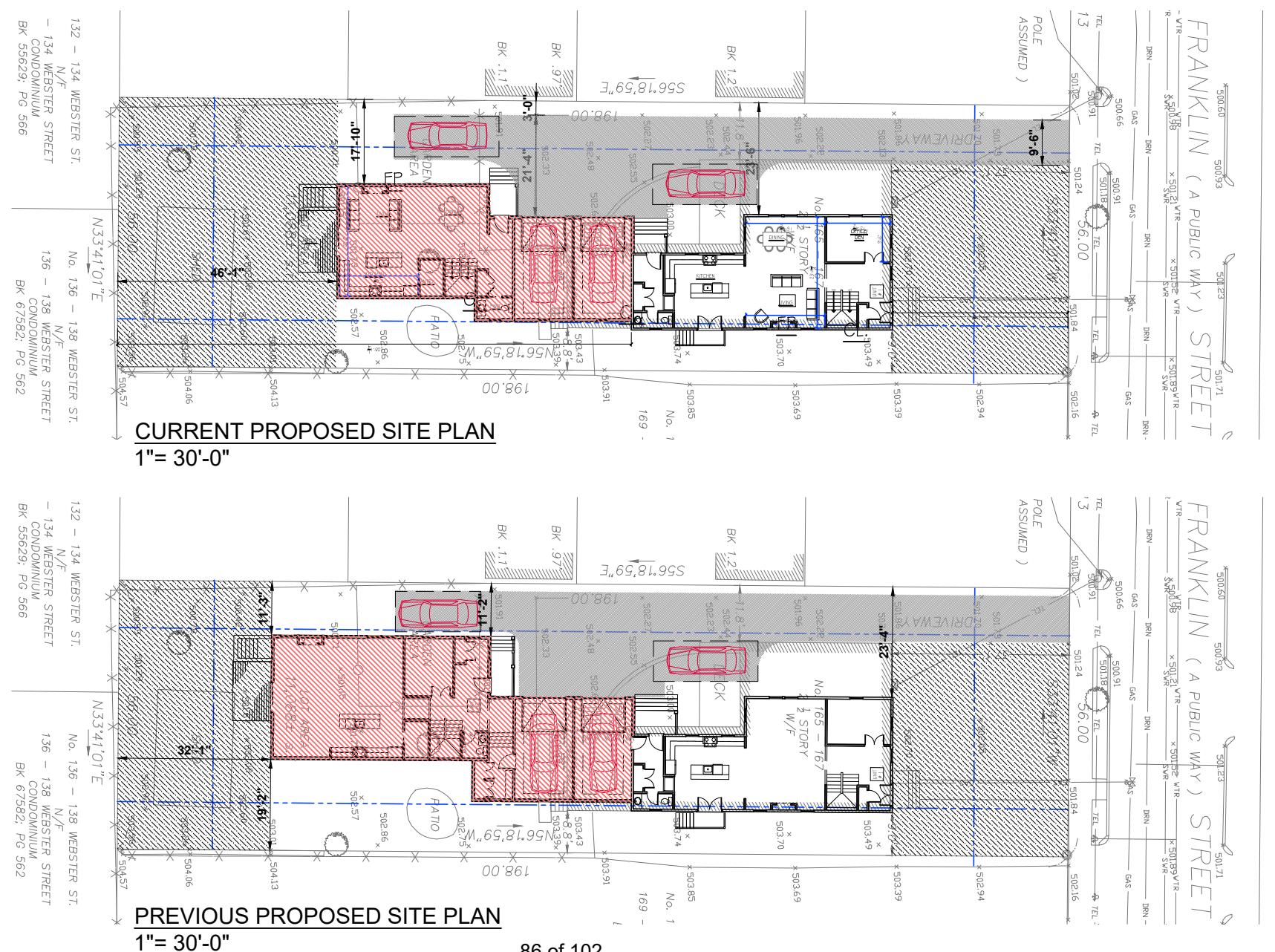
165 Franklin Street
Arlington, MA

ZONING INFORMATION

Project Title:

Revisions:	Description	Date
#		

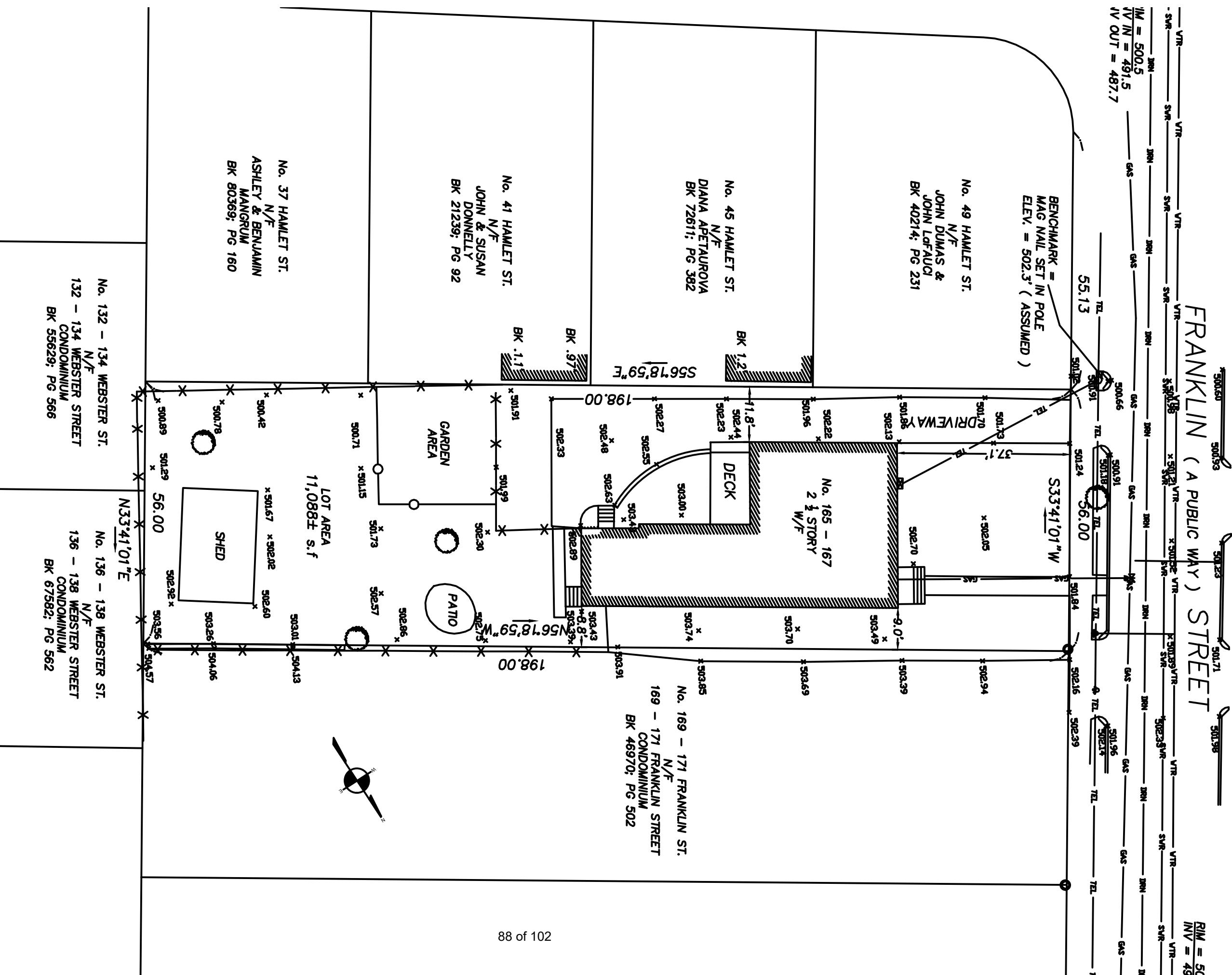
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Date: 07MAR24
Drawing # Z0.1

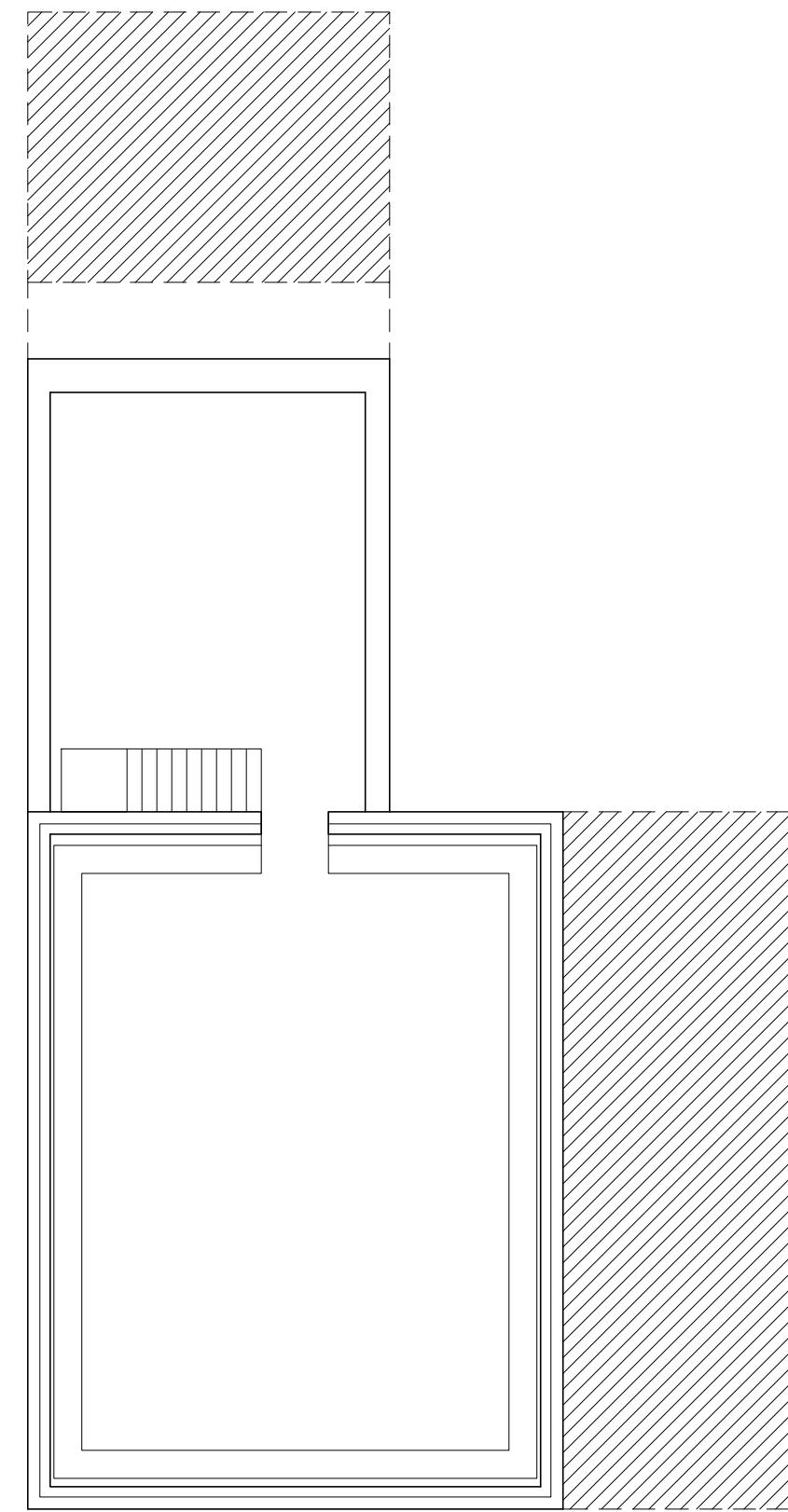




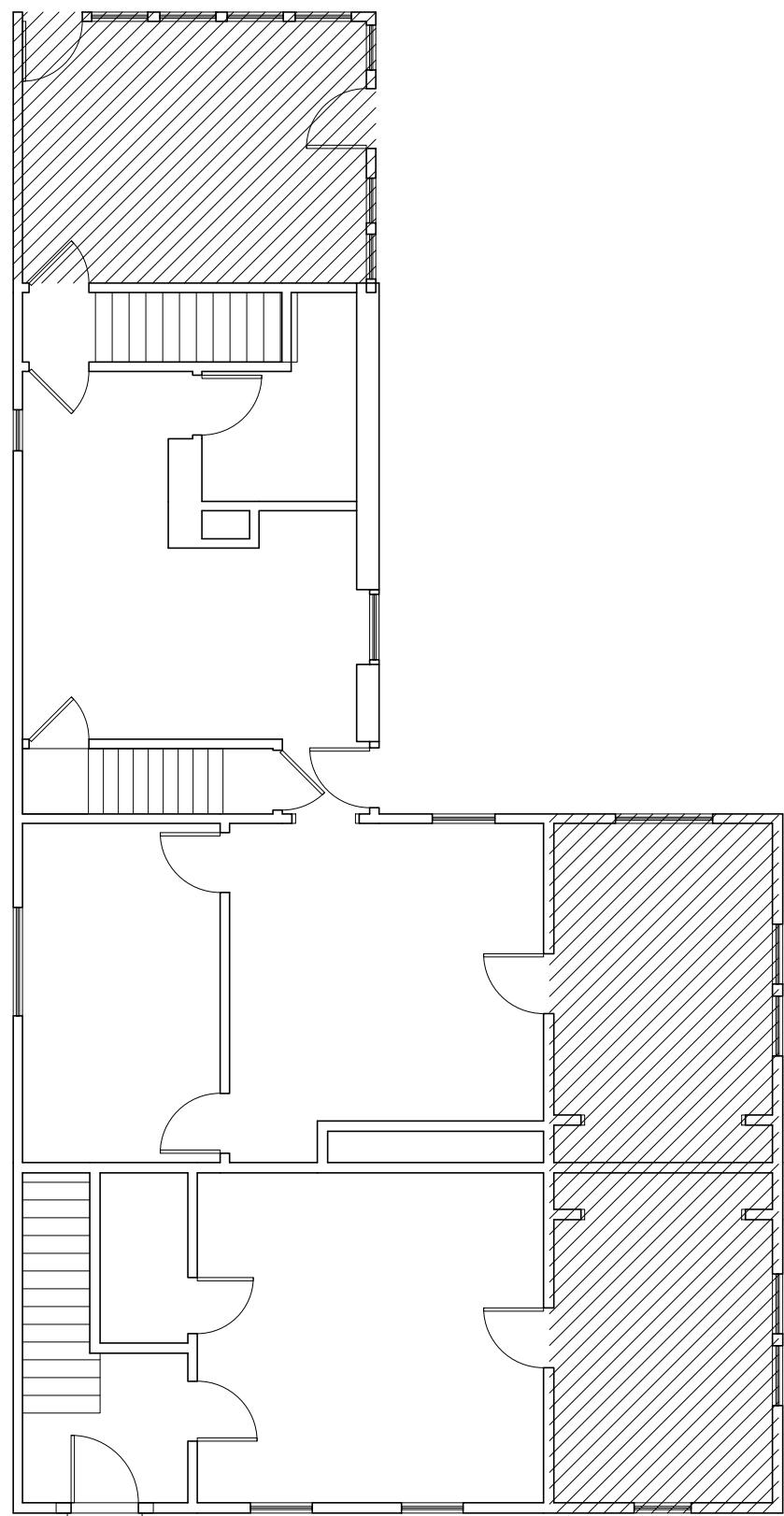
87 of 102

LR Designs	
DESIGNERS/ARCHITECTS DEVELOPMENT ADVISORS	
6A ALSTON STREET SUITE 2 CAMBRIDGE, MA 02139	
LEEDPERSPECTIVE.COM	
Project Title:	
165 Franklin Street Arlington, MA	
Drawing Title:	
ZONING INFORMATION	
Revisions: # Description date	
Project # 23057	
Scale: 1/8" = 1'-0"	
Date: 07MAR24	
Drawing # Z0.2	





BASEMENT PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

LR Designs DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS 6A ALSTON STREET SUITE 2 CAMBRIDGE, MA 02139 617.882.2133 LRDDESIGNS.COM
Project Title:
165 Franklin Street Arlington, MA
EXISTING CONDITIONS: FLOOR PLANS
Drawing Title:
Rewards: # Description date
Project #:
23057
Scale:
1/8" = 1'-0"
Date:
07MAR24
Drawing #:
EX1.1

**165 Franklin Street
Arlington, MA**

Project Title:

**EXISTING CONDITIONS:
FLOOR PLANS**

Drawing Title:

Rewvisions:
Description date

Project #

23057

Scale:

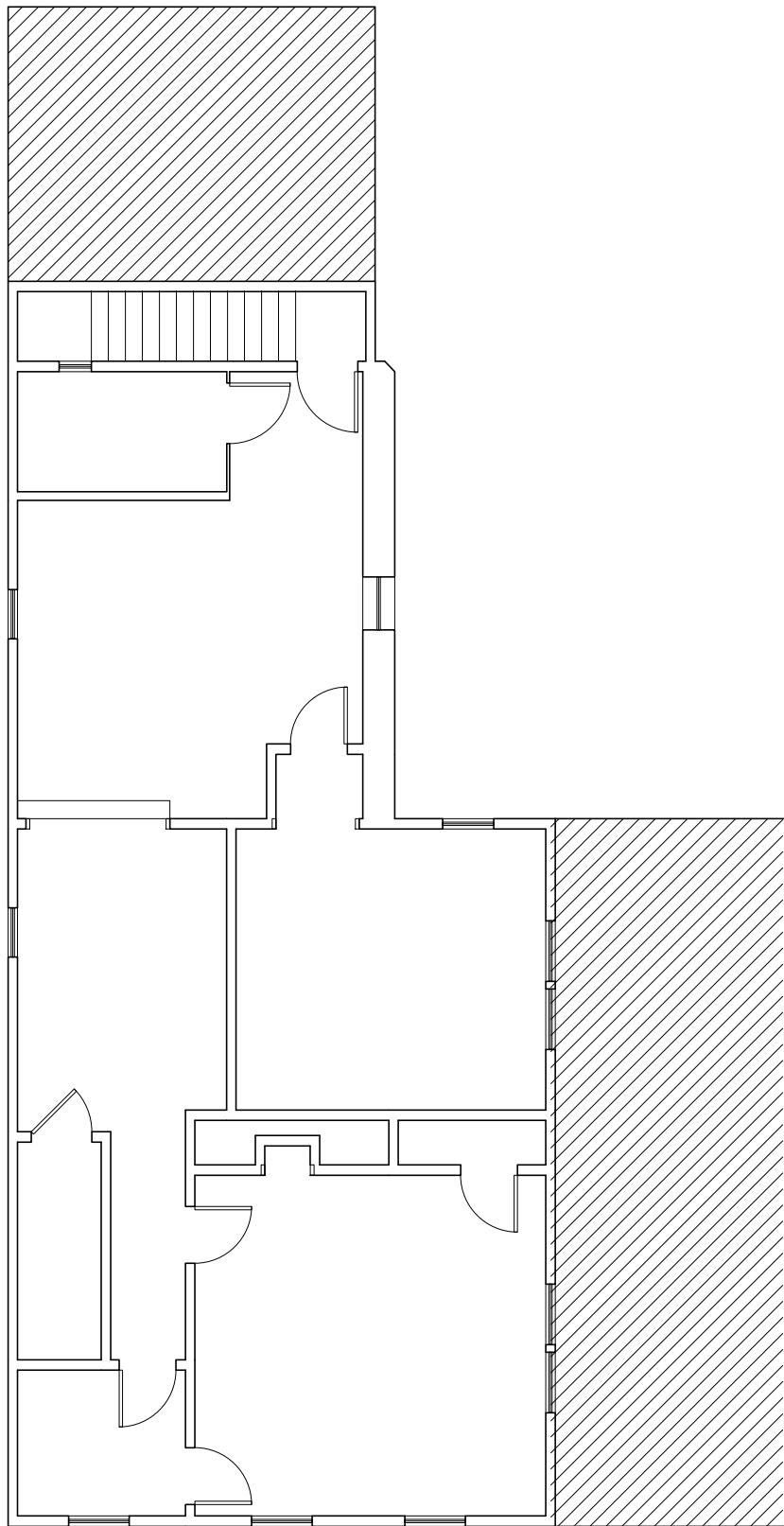
1/8" = 1'-0"

Date:

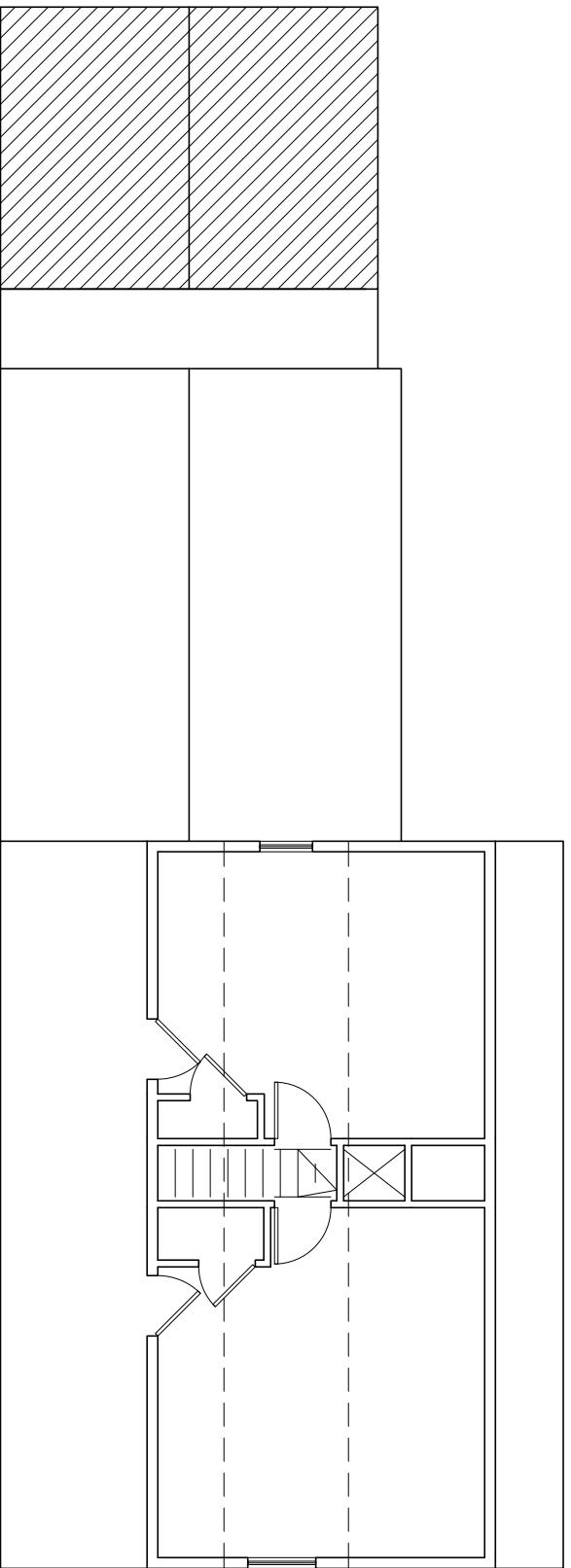
07MAR24

Drawing #

EX1.2



SECOND FLOOR PLAN
1/8" = 1'-0"



ATTIC PLAN
1/8" = 1'-0"

**165 Franklin Street
Arlington, MA**

Project Title:

**EXISTING CONDITIONS:
EXTERIOR ELEVATIONS**

Drawing Title:

Rewvisions:	#	Description	Date
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Project #

23057

Scale:

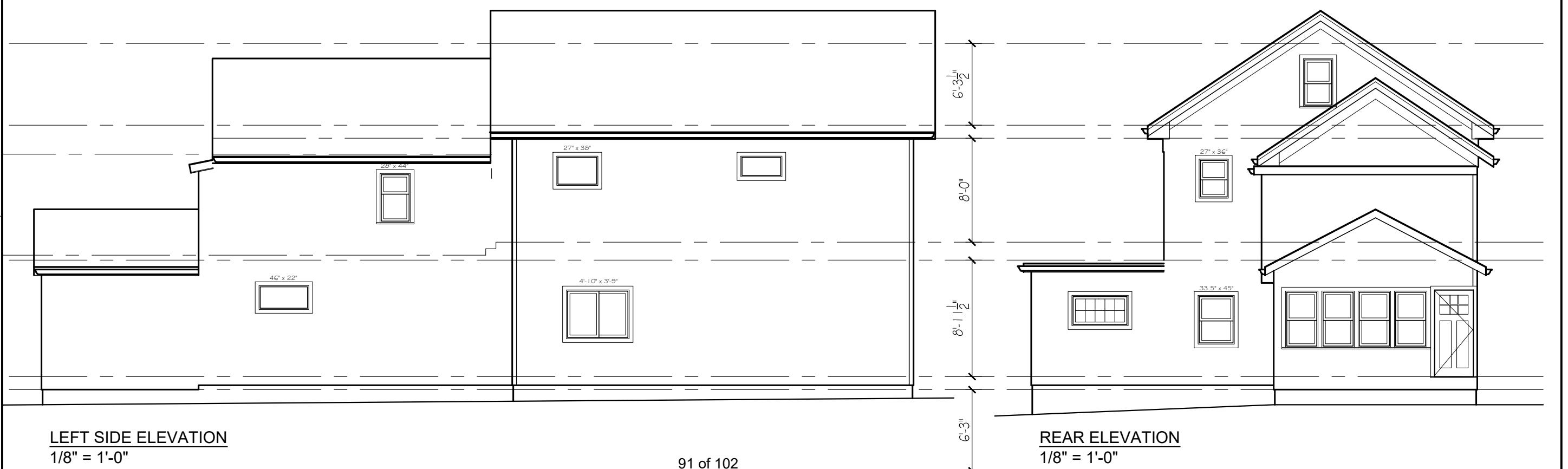
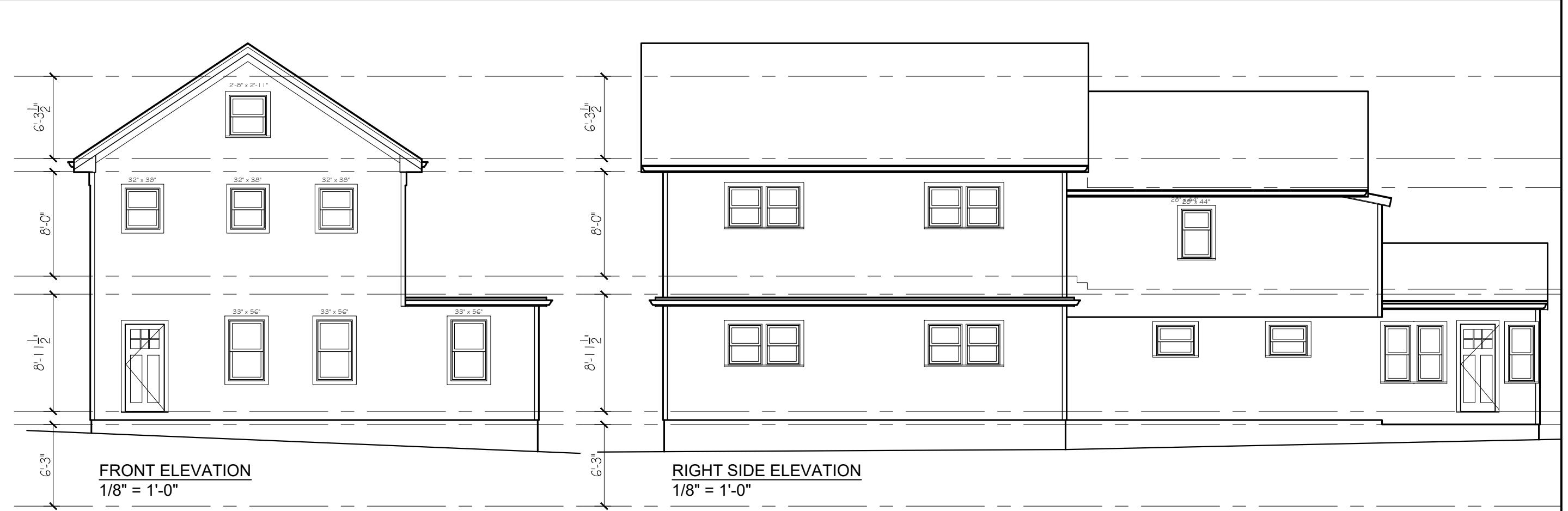
1/8" = 1'-0"

Date:

07MAR24

Drawing #

EX2.1



165 Franklin Street Arlington, MA

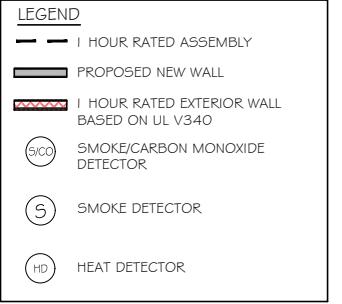
Project Title:

PROPOSED RENOVATIONS: FLOOR PLANS

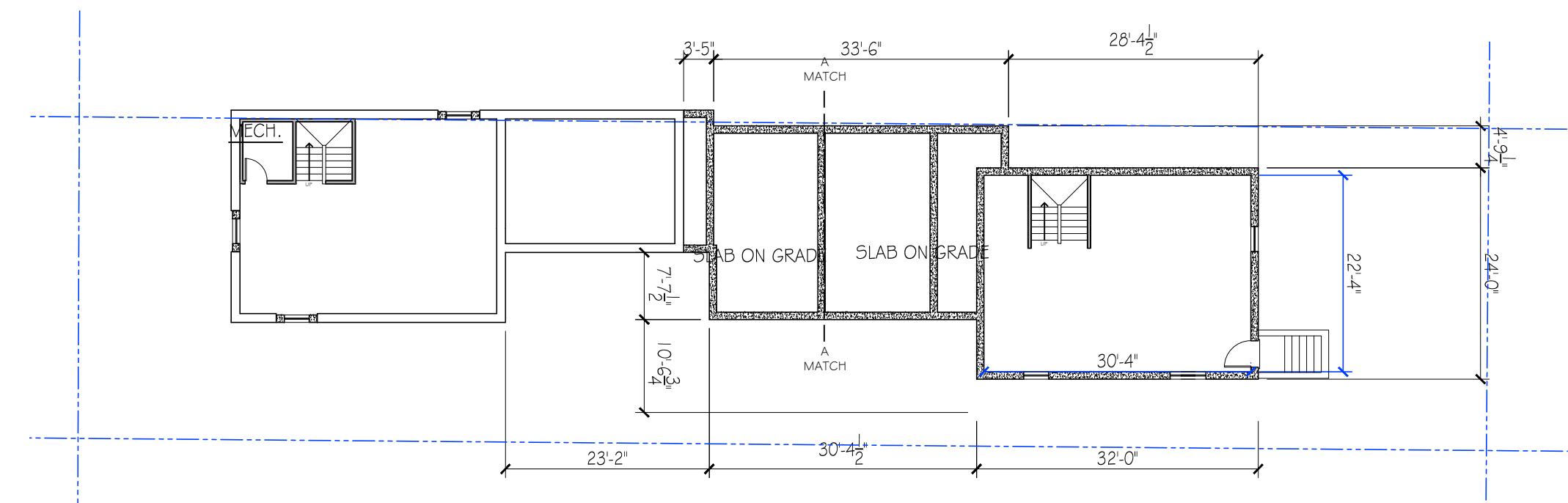
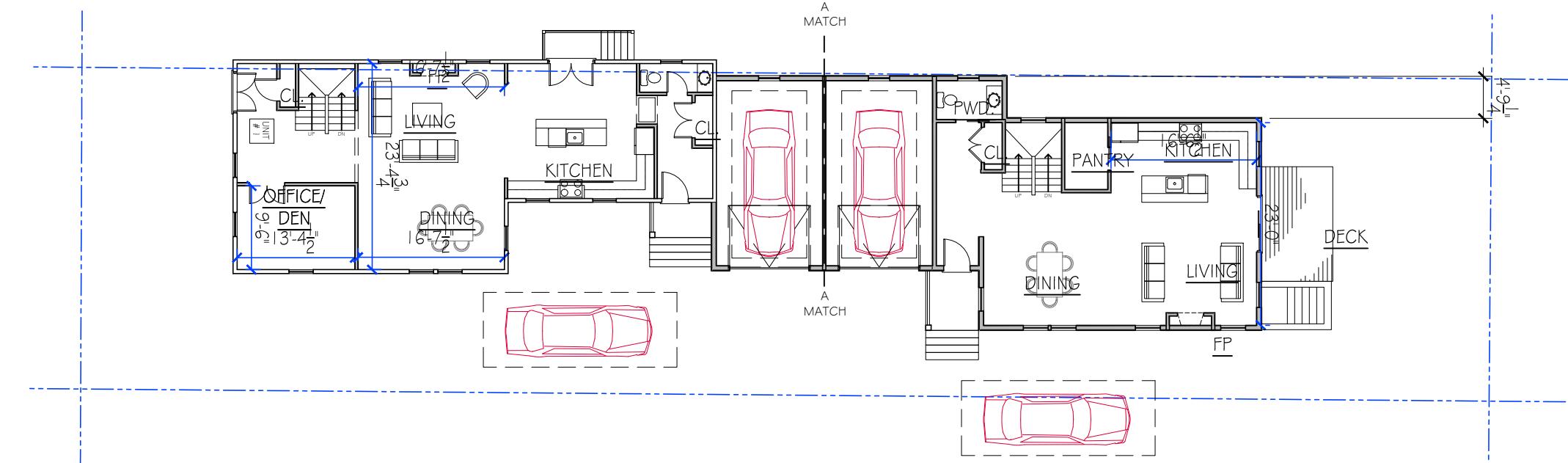
Drawing Title:

Revisions:		
#	Description	Date

Project # 23057
Scale: 1/8" = 1'-0"
Date: 07MAR24
Drawing # A1.1



NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.



LR Designs

DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS
6A ALSTON STREET
SUITE 2
CAMBRIDGE, MA 02139
LEEDPENDING.COM

165 Franklin Street Arlington, MA

Project Title:

PROPOSED RENOVATIONS: FLOOR PLANS

Drawing Title:

Rewisions:
Description date

Project # 23057

Scale: 1/8" = 1'-0"

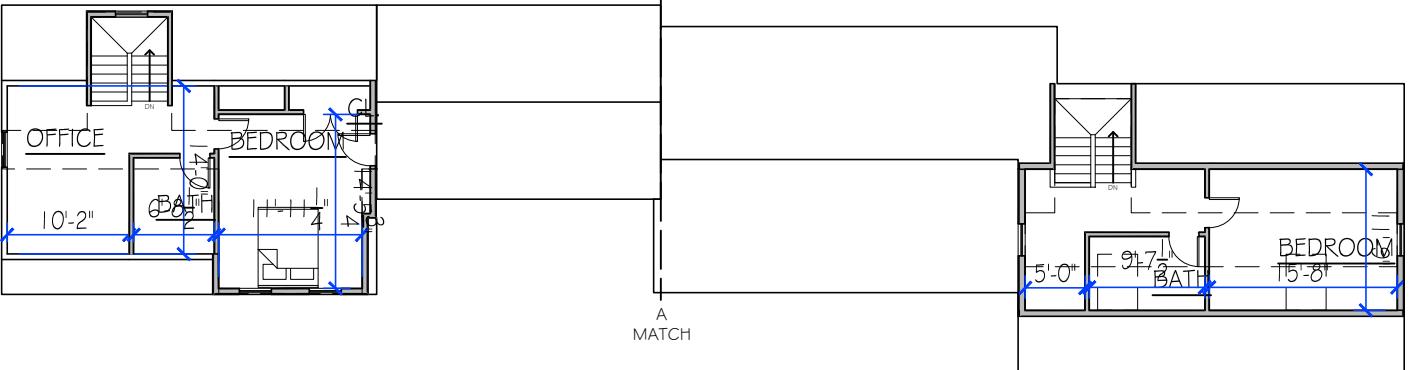
Date: 07MAR24

Drawing # A1.2

LEGEND	
—	1 HOUR RATED ASSEMBLY
—	PROPOSED NEW WALL
—	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
S(C)	SMOKE/CARBON MONOXIDE DETECTOR
(S)	SMOKE DETECTOR
(HD)	HEAT DETECTOR

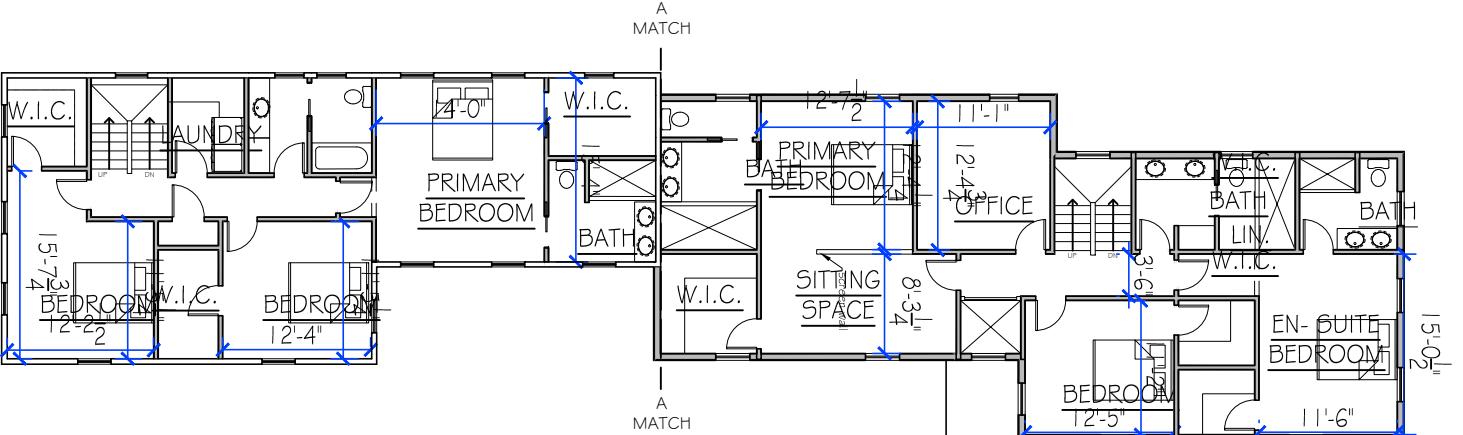
NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

A
MATCH

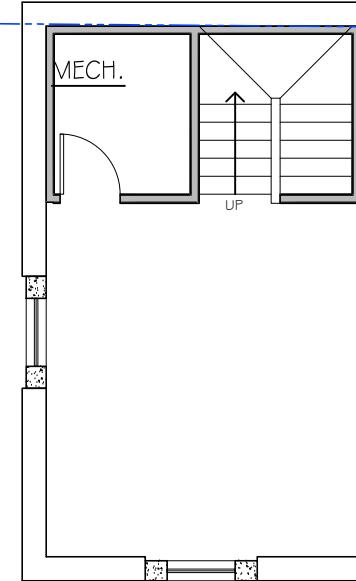


ATTIC PLAN
1/16" = 1'-0"

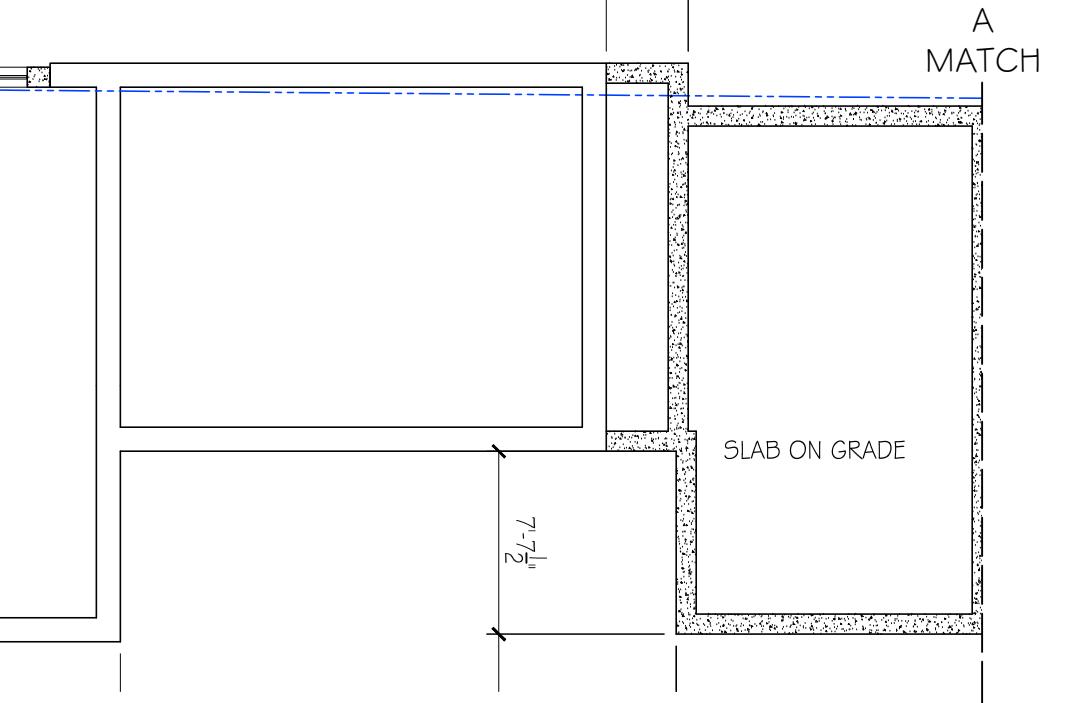
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MATCH



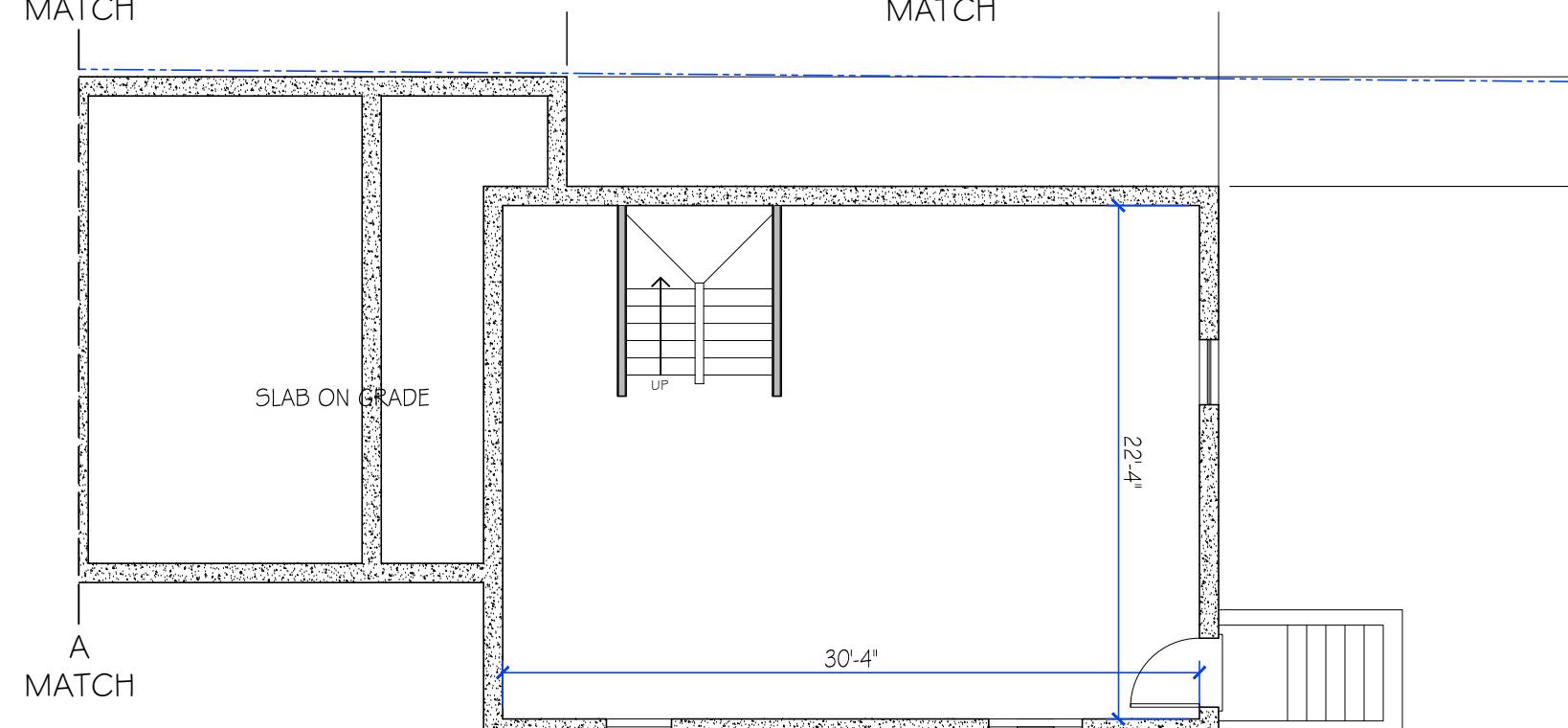
SECOND FLOOR PLAN
1/16" = 1'-0"



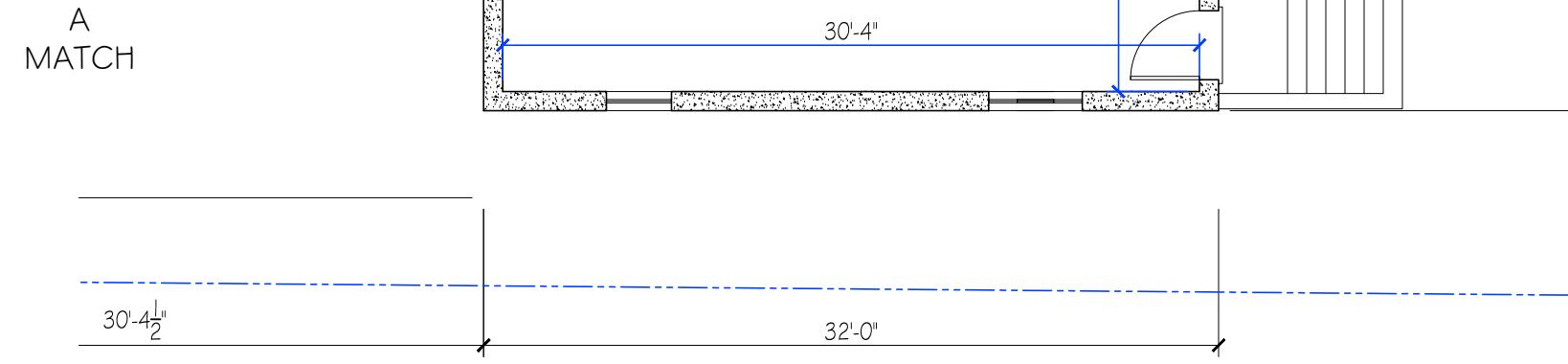
BASEMENT PLAN
1/16" = 1'-0"



A
MATCH



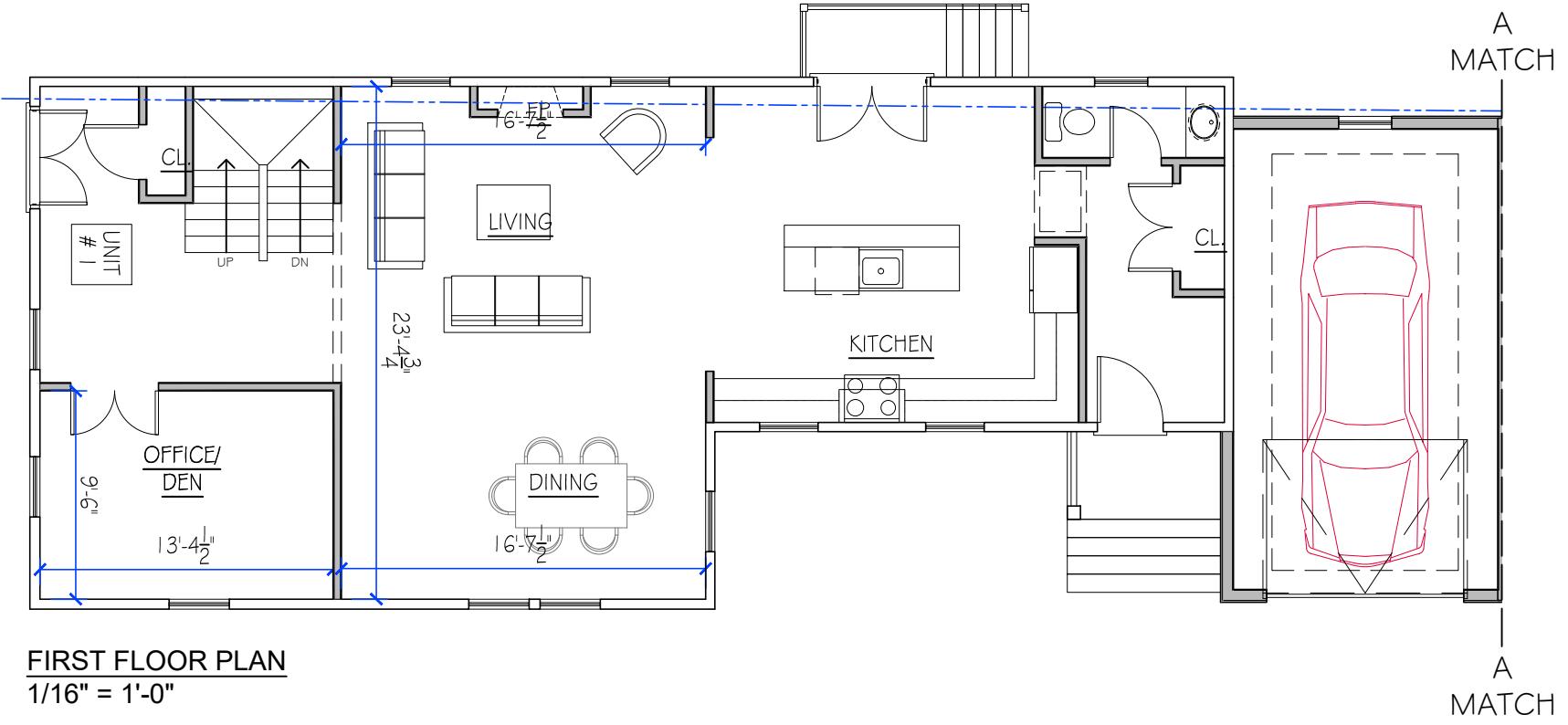
A
MATCH



LEGEND	
	1 HOUR RATED ASSEMBLY
	PROPOSED NEW WALL
	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
	SMOKE/CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	HEAT DETECTOR

NOTE ON DIMENSIONS:
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FRANKLIN STREET



LEGEND	
—	1 HOUR RATED ASSEMBLY
—	PROPOSED NEW WALL
—	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
S/C	SMOKE/CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR
H/D	HEAT DETECTOR

NOTE ON DIMENSIONS:
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LR Designs
DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS
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SUITE 2
CAMBRIDGE, MA 02139
LEEDPENDING.COM

165 Franklin Street Arlington, MA

Project Title:

PROPOSED RENOVATIONS: FLOOR PLANS

Drawing Title:

Rewritten by AI

Rewritten by AI

Rewritten by AI

Project #

23057

Scale:

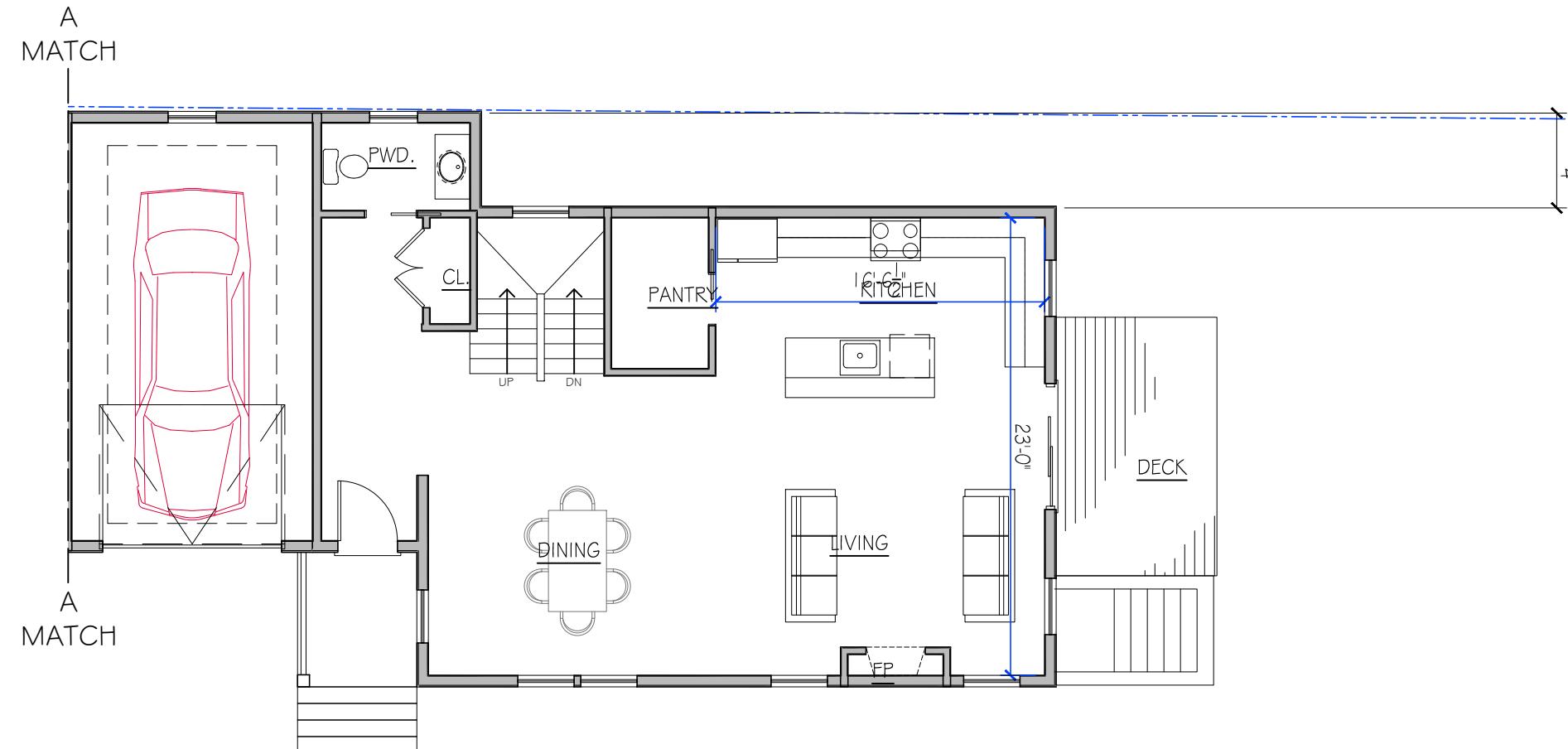
1/8" = 1'-0"

Date:

07MAR24

Drawing #

A1.0A



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DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS
6A ALLEGRA STREET
SUITE 2
CAMBRIDGE, MA 02139
LEED CERTIFIED

165 Franklin Street
Arlington, MA

Project Title:

PROPOSED RENOVATIONS:
FLOOR PLANS

Drawing Title:

Rewvisions:
Description date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

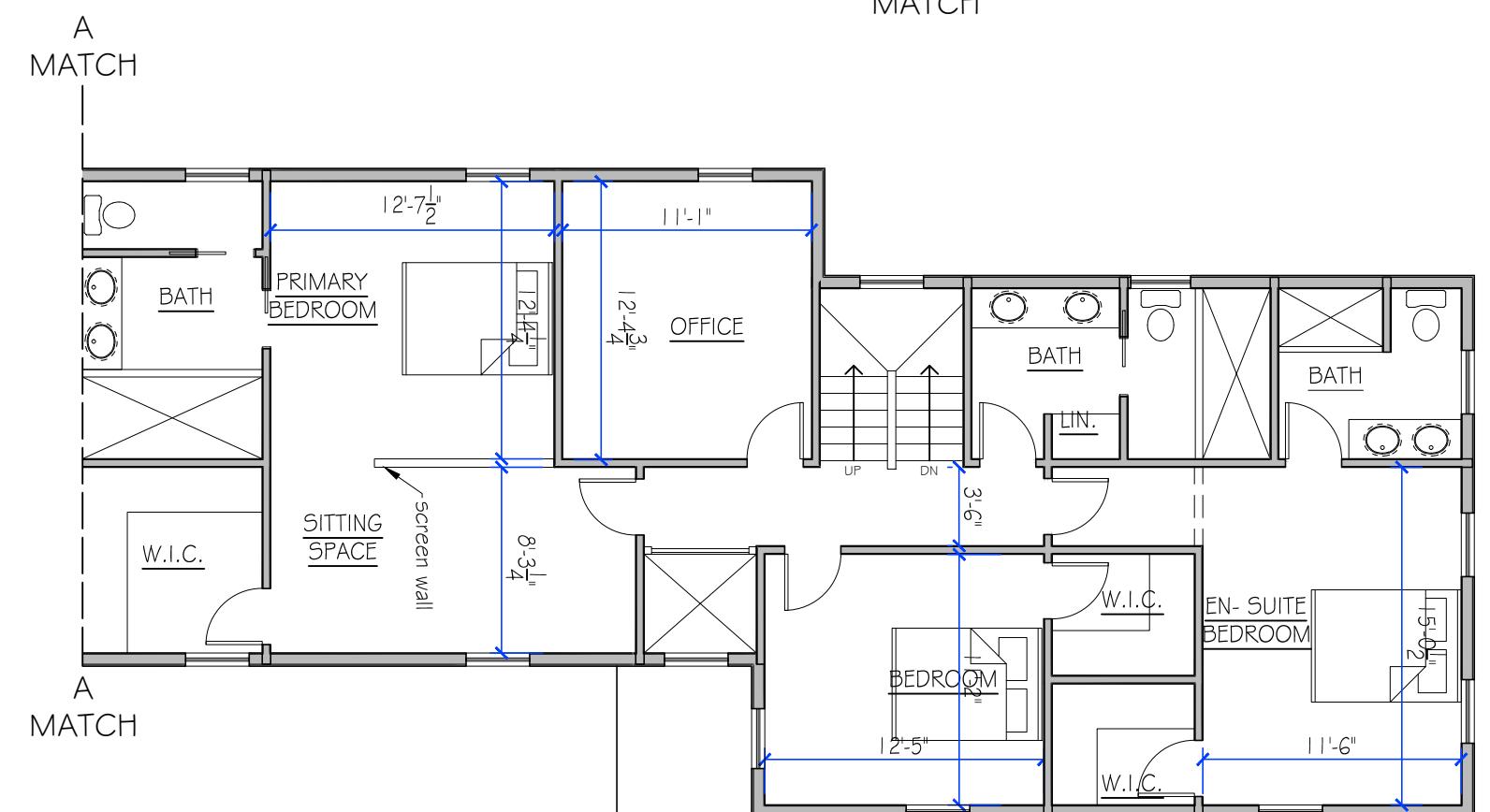
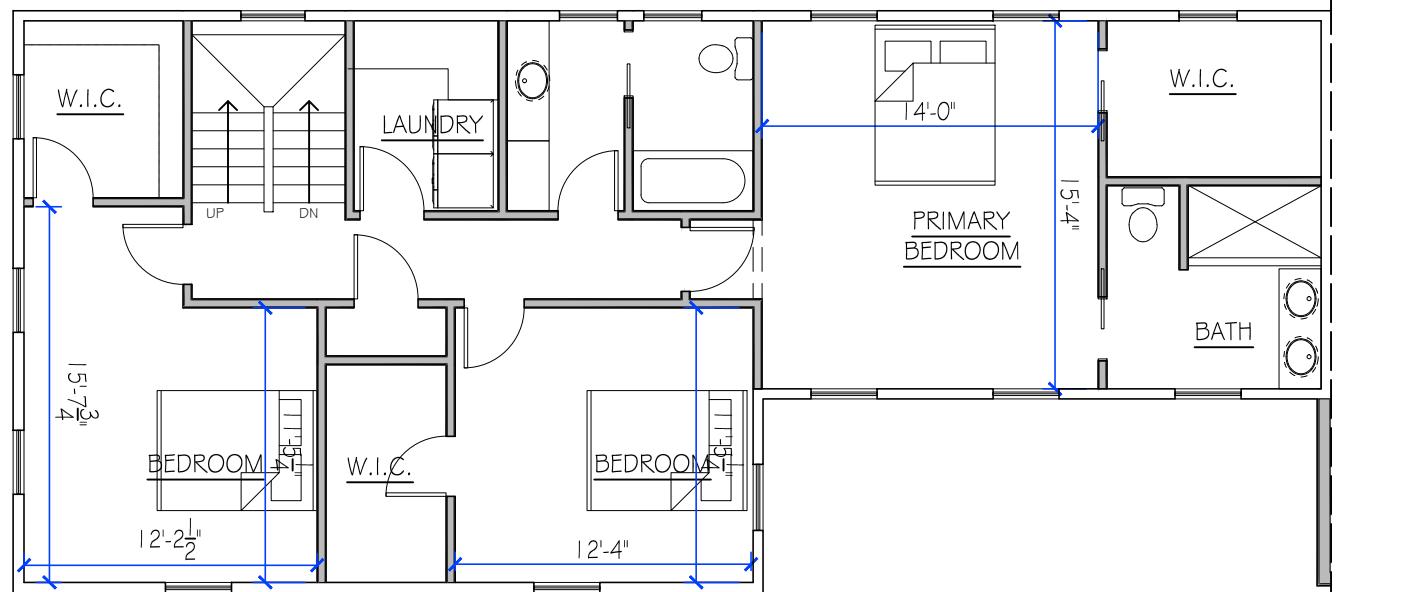
07MAR24

Drawing #

A1.2A

LEGEND	
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	PROPOSED NEW WALL
	1 HOUR RATED EXTERIOR WALL BASED ON UL V340
	SMOKE/CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	HEAT DETECTOR

NOTE ON DIMENSIONS:
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165 Franklin Street
Arlington, MA

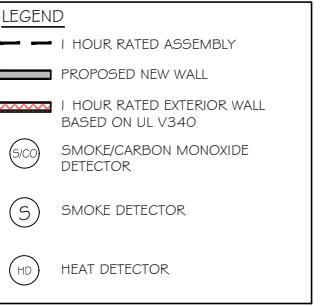
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PROPOSED RENOVATIONS:
FLOOR PLANS

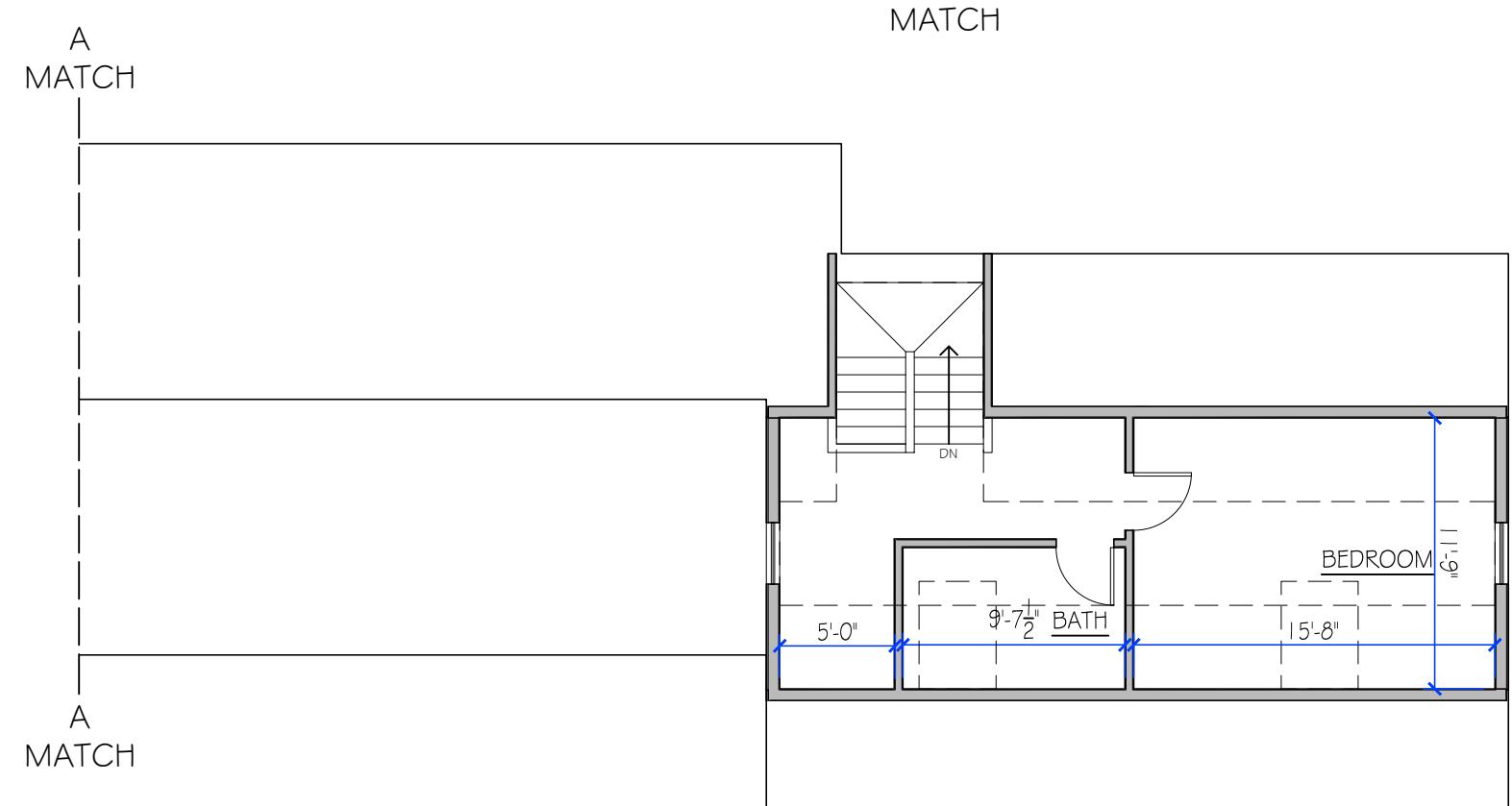
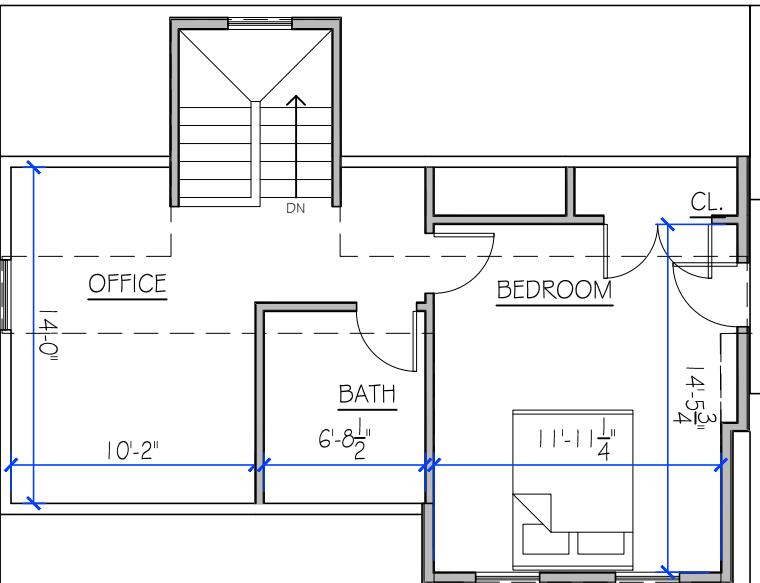
Drawing Title:

Revisions:		
#	Description	Date

Project # 23057
Scale: 1/8" = 1'-0"
Date: 07MAR24
Drawing # A1.3A



NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.



**165 Franklin Street
Arlington, MA**

Project Title:

**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS**

Drawing Title:

Rewisons:
Description date

Project #

23057

Scale:

1/16" = 1'-0"

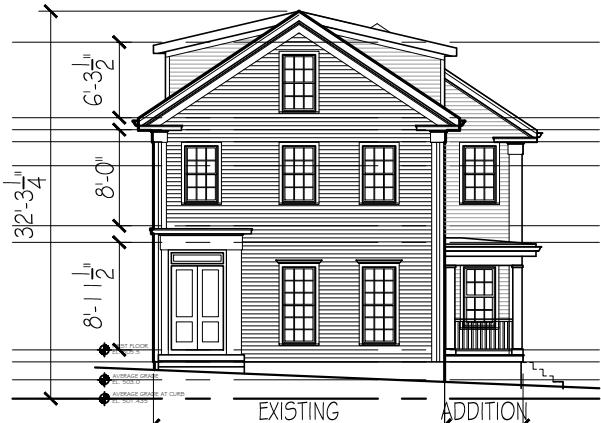
Date:

07MAR24

Drawing #

A2.1

CURRENT PROPOSED



FRONT ELEVATION
1/16" = 1'-0"



RIGHT SIDE ELEVATION
1/16" = 1'-0"

PREVIOUS PROPOSED



FRONT ELEVATION
1/16" = 1'-0"



RIGHT SIDE ELEVATION
1/16" = 1'-0"

LR Designs

DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS
6A ALSTON STREET
SUITE 2
CAMBRIDGE, MA 02139
617.882.2133
LRDDESIGNS.COM

165 Franklin Street Arlington, MA

Project Title:

**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS**

Drawing Title:

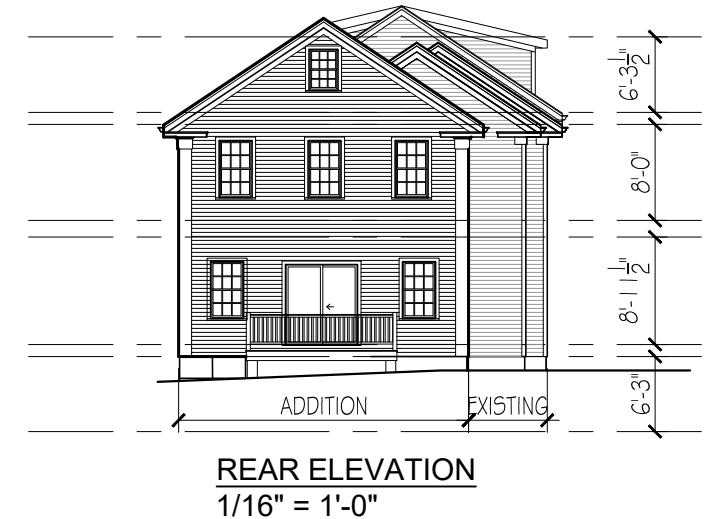
Rewvisions:
Description date

Project # 23057
Scale: 1/16" = 1'-0"
Date: 07MAR24
Drawing # A2.2

CURRENT PROPOSED



PREVIOUSLY PROPOSED



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DESIGNERS/ARCHITECTS DEVELOPMENT ADVISORS

6A ALSTON STREET

BOSTON, MA 02118

617.882.2115

LEEDPENLON.COM

165 Franklin Street Arlington, MA

Project Title:

PROPOSED RENOVATIONS: BUILDING DETAILS

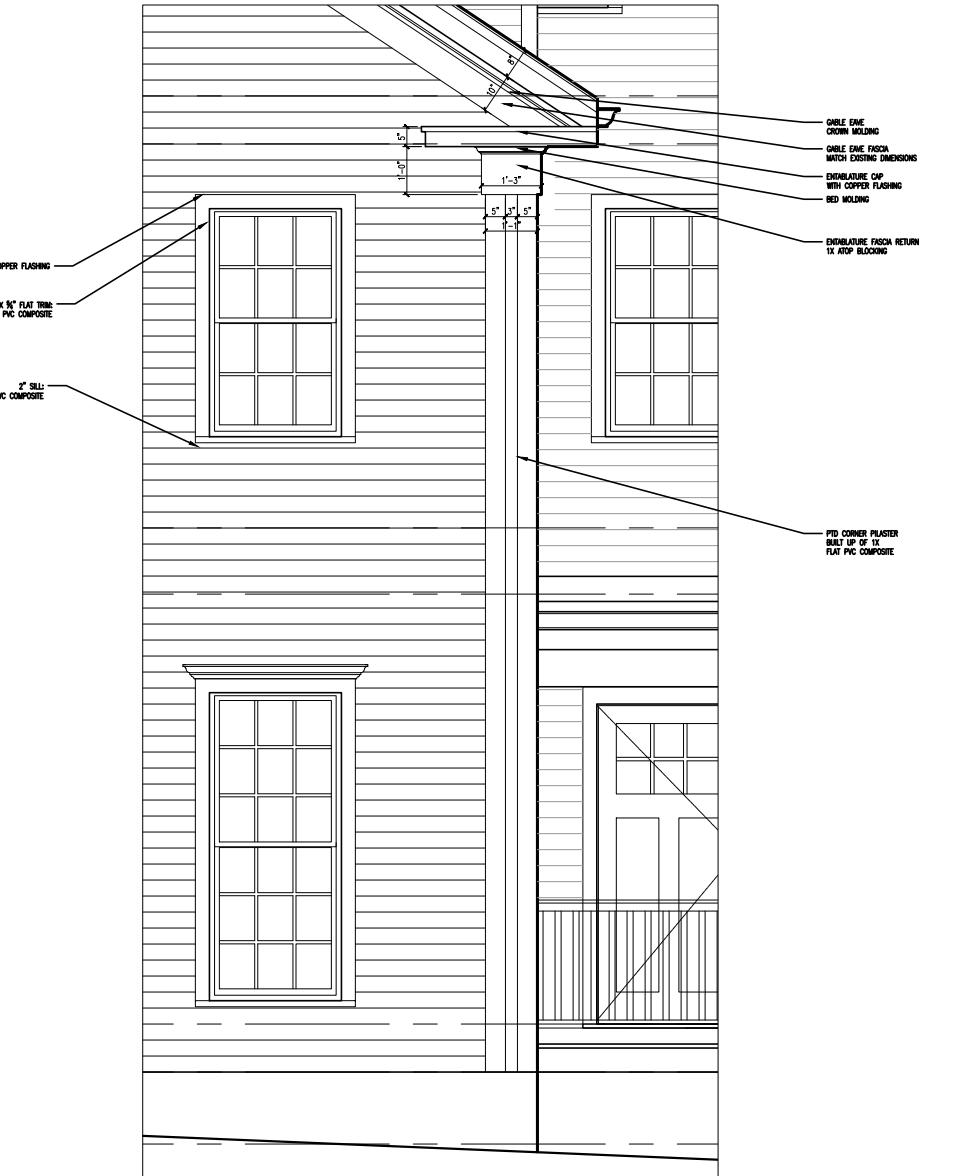
Revisions:		
#	Description	Date

Project # 23057

Scale: 1/4" = 1'-0"

Date: 07MAR24

Drawing # A3.1



CORNER BOARD DETAILS

1/4" = 1'-0"

WINDOW SCHEDULE							
A		B		C		D	
ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"	
MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3377	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3357	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2947	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2941
WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG	
ROUGH OPENING 2'9 3/4" x 6'-5 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'9 3/4" x 4'-9 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'5 3/4" x 3'-1 1/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'5 3/4" x 3'-5 3/4"	HEADER HEIGHT TBD
REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

NOTES:
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE
THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
PROVIDE TEMPERED GLAZING AT ALL HAZARD
LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED
LOCATIONS.

BUILDING AREA CALCULATIONS (GROSS SQ. FT.) - ZONING

	EXIST. AREA (ASSESSORS)	APPLICATION (TOTAL AREA)	PREVIOUSLY PROPOSED (TOTAL AREA)	CURRENT PROPOSED (TOTAL AREA)	CURRENT PROPOSED TOTAL ADDITION
BASEMENT (CELLAR)	1,159	1,964	2,355	1,927	
1ST FLOOR	1,661	2,474	2,490	2,603	
2ND FLOOR	1,183	2,567	2,371	2,603	
ATTIC (SURVEYED)	99	558	452	493	
GARAGE (ACCESSORY PARKING)	0	606	548	549	
TOTAL GROSS FLOOR AREA	4102	7,563	7,668	7,077	2,975
TOTAL GROSS AREA	4102	8,169	8,216	7,626	

LK Designs
DESIGNERS ARCHITECTS DEVELOPMENT ADVISORS
CAMBRIDGE MA 02141
CONTRACT NUMBER: 23057
DATE: 07MAR24
LEEDS BLDG. 101

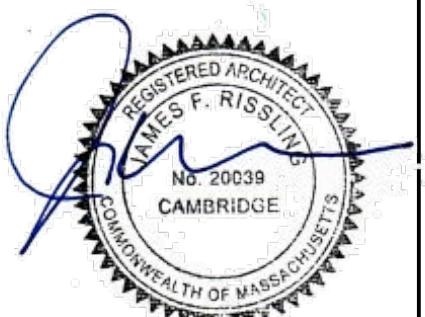
165 Franklin Street
Arlington, MA

ZONING INFORMATION

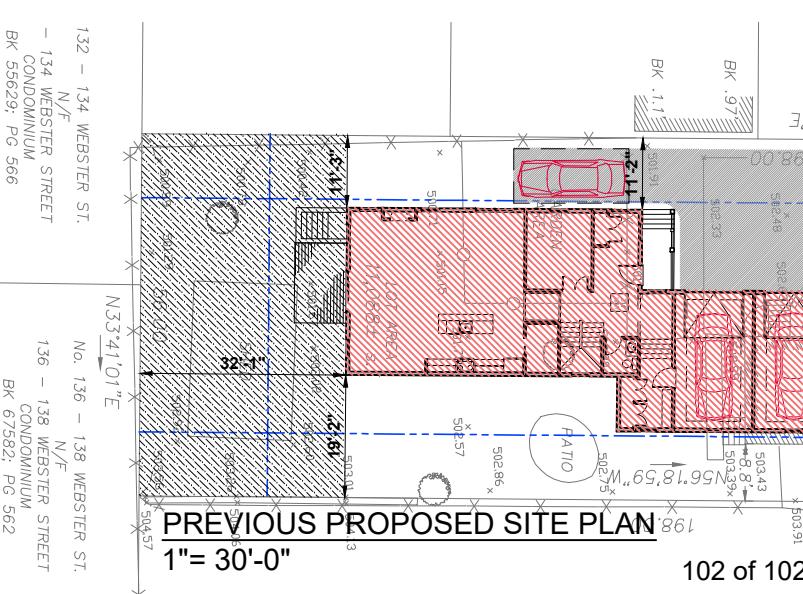
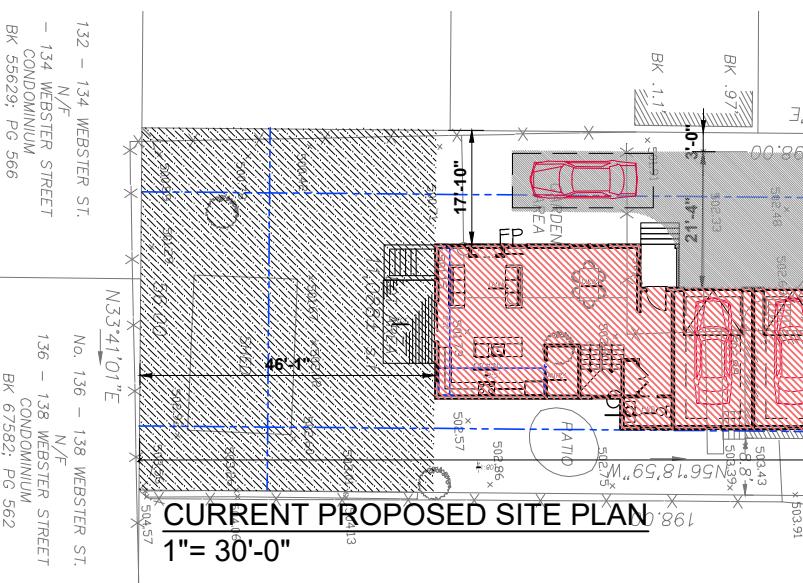
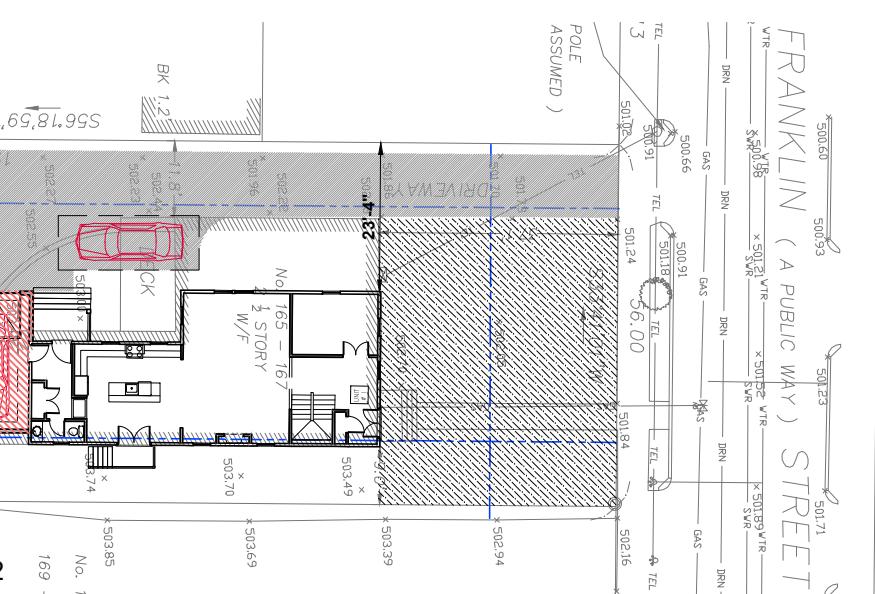
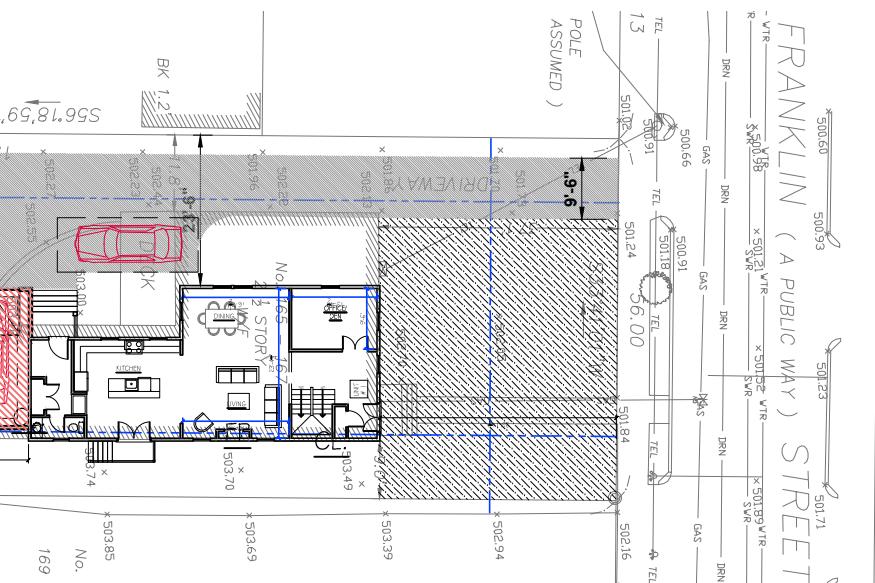
Project Title:

Revisions:		
#	Description	Date
23057		

Scale: 1/8" = 1'-0"
Date: 07MAR24
Drawing #: Z0.1



BUILDING AREA CALCULATIONS (GROSS SQ. FT.) - ZONING					
	EXIST. AREA (ASSESSORS)	APPLICATION (TOTAL AREA)	PREVIOUSLY PROPOSED (TOTAL AREA)	CURRENT PROPOSED (TOTAL AREA)	CURRENT PROPOSED TOTAL ADDITION
BASEMENT (CELLAR)	1,159	1,964	2,355	1,927	
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TOTAL GROSS AREA	4102	8,169	8,216	7,626	



ZONING DATA PER §6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA						
	ZONING DISTRICT - R2	ALLOWED/ REQUIRED	EXISTING	PREVIOUS PROPOSED	CURRENT PROPOSED	COMPLIANCE
A	MINIMUM LOT SIZE (S.F.)	6,000	±11,088	NO CHANGE	NO CHANGE	CONFORMS
B	MIN. FRONTAGE (FT)	60	56	NO CHANGE	NO CHANGE	EXISTING NON-CONF.
C	FLOOR AREA RATIO MAX. (FAR)	NA	--	--	--	NA
D	LOT COVERAGE MAX. (%) (PROPOSED 2,975 SF / 11,088 SF = 23.5%)	35	19%	28.5%	2603/ 11088 = 23.5%	CONFORMS
E	MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--	--	NA
F	MIN. FRONT YARD (FT)	20	37.1	NO CHANGE	NO CHANGE	CONFORMS
G	MIN. SIDE YARD - RIGHT	10	11.8	11'-3"	17'-9 3/4"	CONFORMS
H	MIN. SIDE YARD - LEFT	10	8.8	NO CHANGE	NO CHANGE	EXISTING NON-CONF. (EXISTING STRUCTURE ONLY)
I	MIN. REAR YARD (FT)	20	94.5	32'-1"	46'-1"	CONFORMS
J	MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.25	2 1/2 / 32.88	2 1/2 / 32.25	CONFORMS
K	OPEN SPACE: MIN. LANDSCAPED AREA (%) (PROPOSED 4,512 SF / 7,077 GSF = 63.75%)	10	250	80	63.75	CONFORMS
§6.1. L	OPEN SPACE: MIN. USABLE AREA (%) (PROPOSED 4,241 SF / 7,077 GSF = 60%)	30	201	45	60	CONFORMS
4	MIN. NO. OF PARKING SPACES	2	4	4	4	CONFORMS